

dorset

3 Ellenor Street SCOTTSDALE TAS 7260 P 03 6352 6500
E dorset@dorset.tas.gov.au W www.dorset.tas.gov.au

NOTICE OF PLANNING APPLICATION

LAND USE PLANNING & APPROVALS ACT 1993

In accordance with *Section 57 (3)* of the *Land Use Planning & Approvals Act 1993* notice is hereby given that the following application has been received:

PLA No: 2026/7
PROPOSAL: CHANGE OF USE - VISITOR ACCOMMODATION
APPLICANT: MR D J LEACH
LOCATION: 127A WESTWOOD STREET BRIDPORT

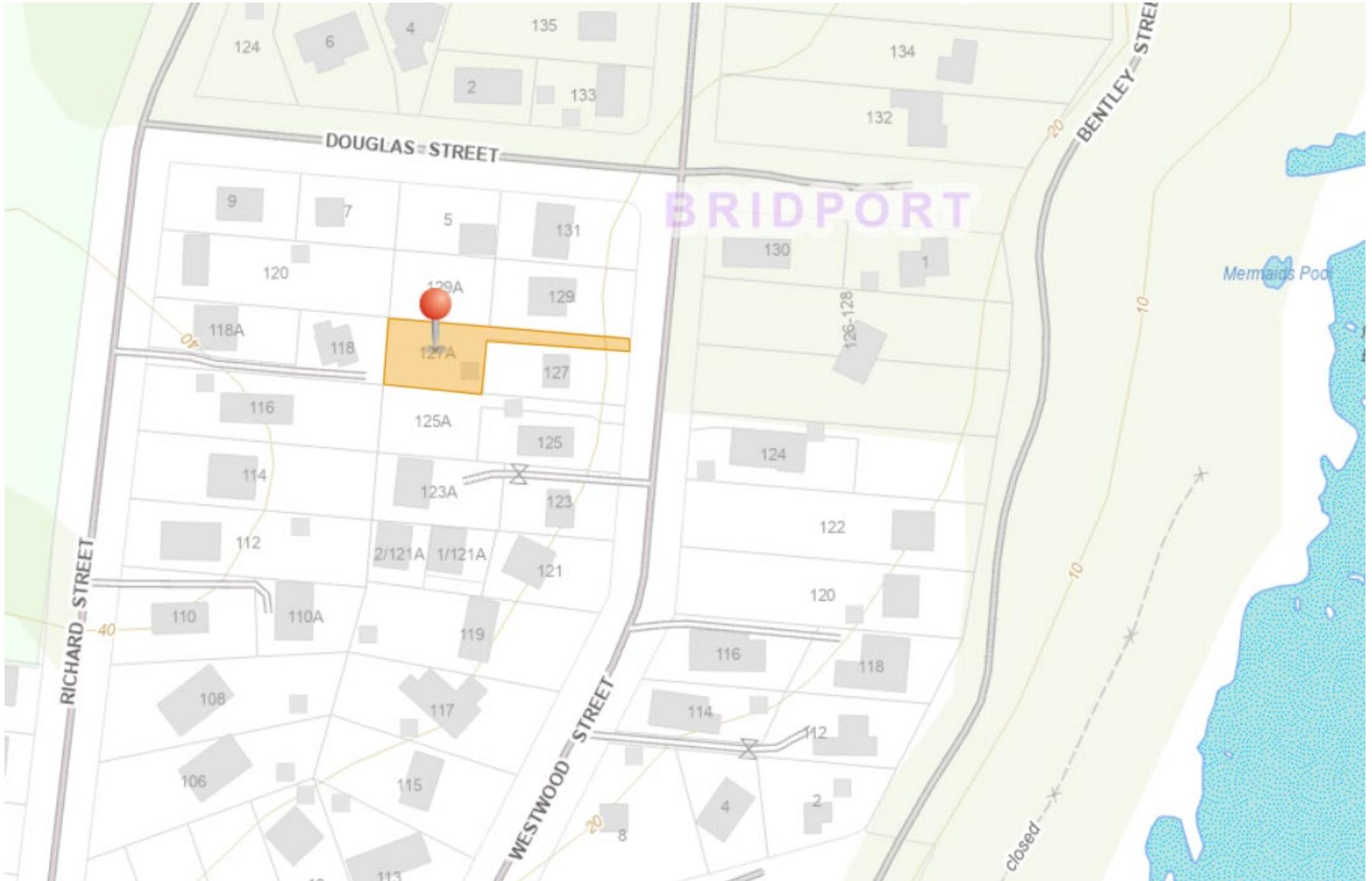
The application and associated plans and documents will be available for inspection at the Council Offices, 3 Ellenor Street, Scottsdale during normal office hours ending on 22/03/2026.

Further, in accordance with *Section 57 (5)* of the *Land Use Planning & Approvals Act 1993* any persons may make representations relating to the application which was advertised in The Examiner newspaper (Local Government Notices) on 07/03/2026. Representations must be made in writing and addressed to the General Manager, Dorset Council, PO Box 21, Scottsdale 7260, or by emailing dorset@dorset.tas.gov.au.

If you have any queries please contact the Dorset Council on **03 6352 6500** during normal office hours.

John Marik
GENERAL MANAGER

127A Westwood Street BRIDPORT (2026/7)





Planning Permit Application

Please print all applicable details clearly

THE PROPOSAL

Describe in full the way it is proposed to use and/or develop the land: Change of use, requesting permit to use the residence for Short Term Accommodation. <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	⇨ Provide a full description of the proposed use or development, including: <ul style="list-style-type: none"> • Building work • Change of use • Subdivision • Forestry • Demolition • Staging (if development is proposed to be carried out in stages, indicate this on the plans and describe in written material) • Signage • Other
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THE LAND

Address 127A Westwood Street Bridport <hr/>	Certificate of Title (include all applicable title references) Volume: 168953 Folio: 2
Land Area (m ² or hectares): 780m ²	
Present use of land: Residential <hr/>	⇨ Provide a description of the existing use of the land, for example vacant, residential, agriculture, industrial, commercial
Present use of existing building(s): Home, residential <hr/>	⇨ Provide a description of the use of the existing buildings on the land, for example dwelling, workshop, farm building, office, shop

THE APPLICANT (Note: the person to be nominated as the Applicant is the one whose name will appear for public notification purposes and permit issue)

Applicant's Name:	
Address: 109 Lall Road Lilydale 7268 Tas. <hr/>	Phone: 0429369479
	Fax:
	Mobile: 0429369479
Email: darren.leach@iinet.net.au	

THE OWNER

Owner's Name(s): Darren James and Rosalyn Alison Leach	
Address: 109 Lalla Road Lilydale	Phone: 0429369479
	Fax:
	Mobile: 0429369479
Email: darren.leach@iinet.net.au	

CROWN AND/OR COUNCIL CONSENT [to be completed where land in respect of the Application is (i) Crown land (within the meaning of the *Crown Lands Act 1976*) or (ii) owned or administered by the Crown or a Council]

Owner / Administrator's Name(s): N/A	
Person signing the Application:	⇒ <i>to be completed by a person conferred the authority to ensure compliance with Section 52(1B)(a) of the Land Use Planning and Approvals Act 1993).</i>
Signature: _____ Date: _____	

DETAILS OF BUILDING WORK (to be completed if Application requires building work)

Value of building work: \$ 0.00	⇒ Please tick applicable box: <input type="checkbox"/> Estimate <input type="checkbox"/> Contract Price	
Type of work: Nil	⇒ <i>For example, new building, alteration, addition, removal, repairs, demolition, re-erection, change of use</i>	
Proposed use of building: Short term accomadation	⇒ <i>Describe the main use of the proposed building, for example, dwelling, workshop, farm building, office, shop</i>	
Existing floor area: 200.02 Internal Flooring m ²	New / additional floor area: N/A m ²	Proposed maximum building height above natural ground level: N/A m
Materials:		
structural floor: _____		
external walls: _____		colour: _____
roof cladding: _____		colour: _____
structural frame: _____		

DETAILS OF OTHER WORKS

Vehicle Access:

Is a new vehicle access or crossover required? (if so, ensure this is indicated on the plans) No

What would be the surfacing of the vehicle access? _____

Car Parking:

How many car parking spaces are currently provided? 3-4

How many additional car parking spaces would be provided? Nil

What would be the surfacing of the car parking spaces? Currently Gravel surface

Is provision made for loading and unloading of vehicles? (to be completed for retail, commercial, industrial, service industry or storage uses)

Describe any proposed earthworks, vegetation removal or other works required as part of the use and/or development:

Nil, Plesae see the attached recently built signed building plans for this location, contains site plan, parking spaces in front of shed dwelling and driveway.

Floor area, internal and external decking. Provision of smoke alarms etc.

DETAILS OF OTHER MATTERS

Proposed hours of operation:

Monday to Friday: _____ am to _____ pm

Saturday: _____ am to _____ pm

Sunday: _____ am to _____ pm

Provide details of any goods that would be stored outside:

N/A as far as I know.

Privacy Statement

The Dorset Council is committed to upholding the right to privacy of all individuals who have dealings with the Council. Unless required by law or by a Court or tribunal, the Council will take the necessary steps to ensure that the personal information that members of the public share with the Council remains confidential. How we use this information is explained in our Personal Information Protection Policy which is available at www.dorset.tas.gov.au or at the Council office.

Appointment Details

To ensure Council's officers are available to assist you with the submission of your Application, it is advisable to make an appointment by contacting Regulatory Services on 6352 6500.

Date: _____ Time: _____ Council Officer: _____

Copyright Authority

I authorise the Council and the Crown in right of the state of Tasmania to provide to any person, for the purposes of assessment or public consultation, a partial or complete copy of documents relating to this application.

I understand that the information and materials provided with this Application may be made available to the public in electronic form on the Council's website. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Application.

I declare that the information given is a true and accurate representation of the proposed use and/or development, and I am liable for the payment of Council application processing fees even in the event of the use and/or development proposed by this Application not proceeding.

I confirm I am the copyright owner or have the authority to sign on behalf of any other person with copyright for documents relating to this Application.

I indemnify the Dorset Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.

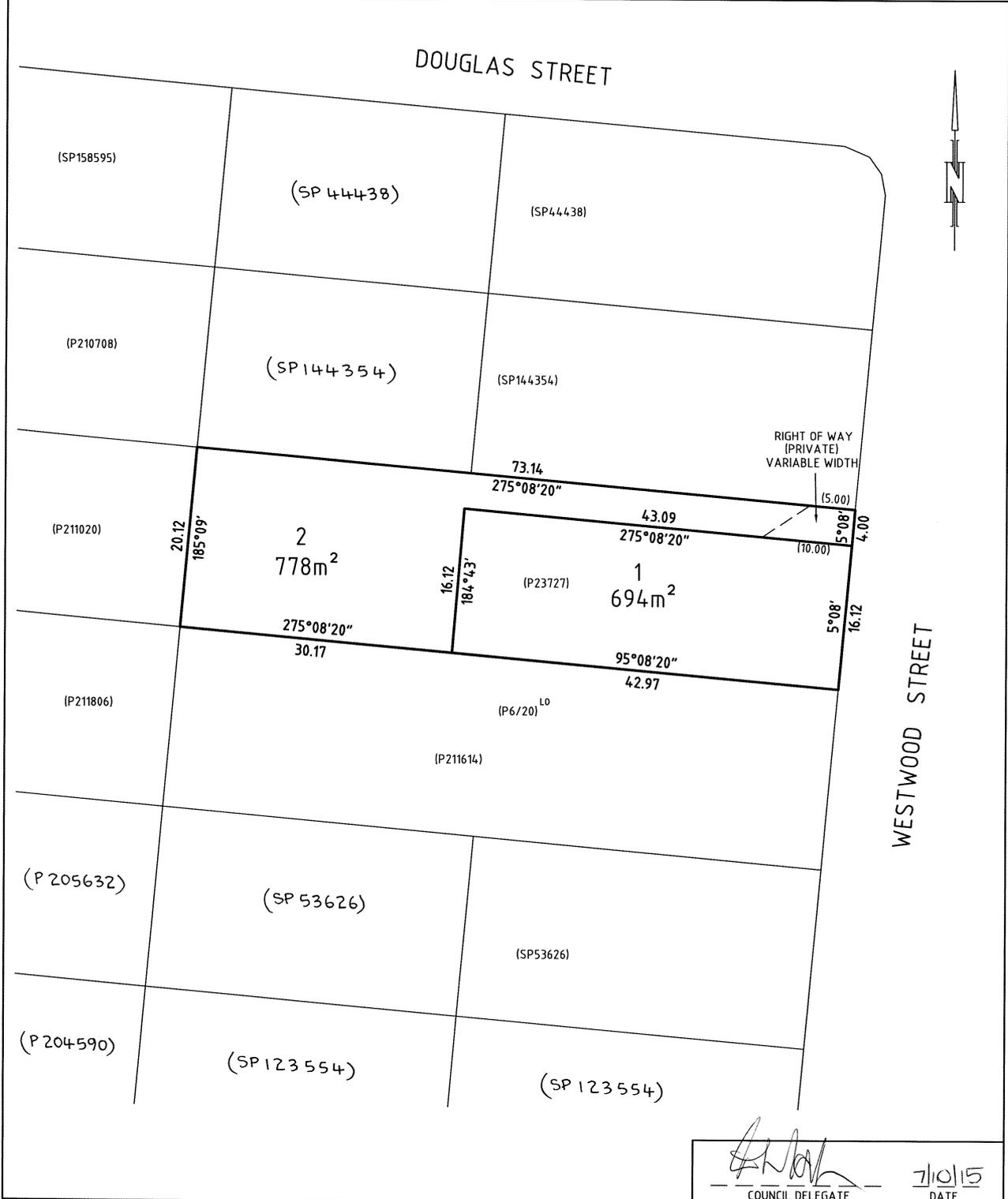
Note: This authority is intended to cover copies made by the Crown or Council under Sections 40, 43, 49 or 183 of the *Copyright Act 1968*.

Where the applicant is NOT the owner, I hereby declare that the owner of the land to which this application relates has been notified of this application being made and the information and details supplied by me in this application are a true and accurate description of the proposal.

Applicant's Signature: 

Date: 

OWNER: Ricky Dunn Annette Michelle Dunn		PLAN OF SURVEY BY SURVEYOR JOHN WILLIAM DENT of PDA SURVEYORS 3/23 BRISBANE STREET, LAUNCESTON LOCATION TOWN OF BRIDPORT (SEC. E1)		REGISTERED NUMBER SP168953
FOLIO REFERENCE C.T.236727/11				APPROVED EFFECTIVE FROM 16 OCT 2015 <i>Mick Kawa</i> Recorder of Titles
GRANTEE: Whole of Lot 11 Sec. E1 Gtd. to D.J. Howroyd		SCALE: 1:400	LENGTHS IN METRES	SURVEYORS REF: 175/14
MAPSHEET MUNICIPAL CODE No. 109 (5246)	LAST UPI No	LAST PLAN No. P 236727	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



SEARCH OF TORRENS TITLE

VOLUME 168953	FOLIO 2
EDITION 3	DATE OF ISSUE 06-July-2024

SEARCH DATE : 19-Jan-2026

SEARCH TIME : 03.41 pm

DESCRIPTION OF LAND

Town of BRIDPORT

Lot 2 on Sealed Plan [168953](#)

Derivation : Part of Lot 11, Sec. E1 Gtd to D J Howroyd

Prior CT [236727/11](#)

SCHEDULE 1

[M638723](#) TRANSFER to ROSALYN ALISON LEACH and DARREN JAMES LEACH Registered 31-July-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP168953](#) EASEMENTS in Schedule of Easements

[SP168953](#) FENCING COVENANT in Schedule of Easements

[E385564](#) MORTGAGE to Commonwealth Bank of Australia

Registered 06-July-2024 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PROPOSED RESIDENCE 127A WESTWOOD STREET BRIDPORT

R.A. & D.J. LEACH
PD23472

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	SOIL & WATER MANAGEMENT PLAN
04	LOCALITY PLAN
05	GROUND FLOOR PLAN
06	FIRST FLOOR PLAN
07	DOOR AND WINDOW SCHEDULES
08	ELEVATIONS
09	ELEVATIONS
10	ROOF PLAN
11	SECTION
12	GROUND FLOOR PLUMBING PLAN
13	FIRST FLOOR PLUMBING PLAN
14	GROUND FLOOR FINISHES PLAN
15	FIRST FLOOR FINISHES PLAN
16	ELECTRICAL/REFLECTED CEILING PLAN
17	ELECTRICAL/REFLECTED CEILING PLAN
18	SETOUT PLAN
19	ENERGY EFFICIENCY
20	PERSPECTIVES

GROUND FLOOR AREA	99.27	m ²	(10.69	SQUARES)
FIRST FLOOR AREA	100.75	m ²	(10.85	SQUARES)
GROUND FLOOR DECK AREA	50.99	m ²	(5.49	SQUARES)
FIRST FLOOR DECK AREA	48.39	m ²	(5.21	SQUARES)
TOTAL AREA	299.41		32.23	

BUILDING DETAILS

No	DRAWING
BD01	GENERAL NOTES
BD02	GENERAL NOTES
BD03	GENERAL NOTES
BD04	GENERAL NOTES
BD05	CONDENSATION NOTES
BD06	CONDENSATION NOTES
BD07	CONDENSATION NOTES
BD08	WATERPROOFING NOTES
BD09	WATERPROOFING NOTES
BD10	WATERPROOFING NOTES
BD11	WATERPROOFING NOTES
BD12	BUSHFIRE NOTES
BD13	BUSHFIRE NOTES
BD14	BUSHFIRE NOTES
BD15	BUSHFIRE NOTES
BD16	BUSHFIRE NOTES
BD17	BUSHFIRE NOTES
BD18	BUSHFIRE NOTES
BD19	CLADDING DETAILS
BD20	CLADDING DETAILS
BD21	CLADDING DETAILS



BUILDING



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 168953/2
 SITE AREA: 778m²
 DESIGN WIND SPEED: N2
 SOIL CLASSIFICATION: S
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: HIGH
 BAL RATING: 12.5
 OTHER KNOWN HAZARDS: BUSHFIRE PRONE AREA

REVISION SCHEDULE

REV.	DATE	DESCRIPTION
B	12.06.2024	CLADDING DETAILS AMENDED, DECKING AND SPA REMOVED
C	11.07.2024	ADDITION OF SOLAR PANELS & LDRY, SERVICES AMENDMENTS



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 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(h)+03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

JULY 2024

SURVEYORS NOTES:

SURVEYOR: ABB DATE: 08/03/2024

1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT SURVEYS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT MARKED NOR VERIFIED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. WOOLCOTT SURVEYS CANNOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SURVEYS.
6. HORIZONTAL BEARING DATUM IS PLANE PER RTK GNSS OBSERVATIONS.
7. VERTICAL DATUM IS AHD83 PER SPM9840.
8. CONTOUR INTERVAL IS 0.20m; INDEX IS 1.00m.
9. BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP.168953 AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
10. COORDINATES ARE PLANE AND REFERENCED TO MGA2020 AT SPM9840.

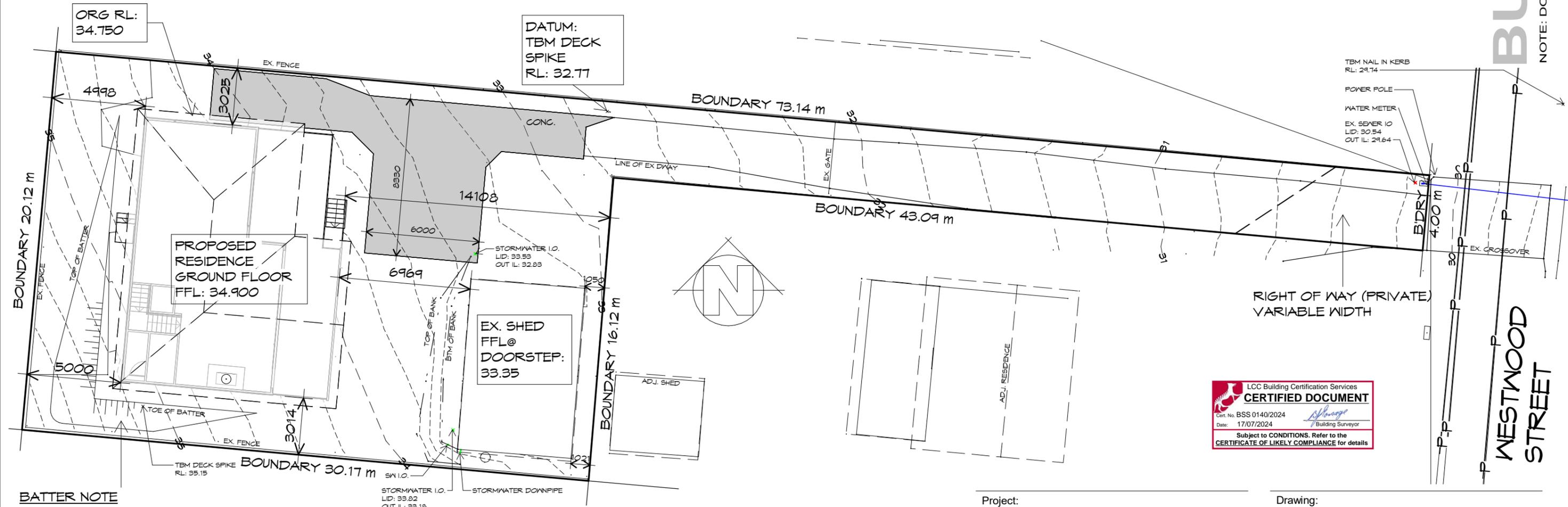
GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS



BATTER NOTE
BATTER AS PER
ABC B HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drafted by:
I.L.C./M.R.

Approved by:
A.J.C.



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

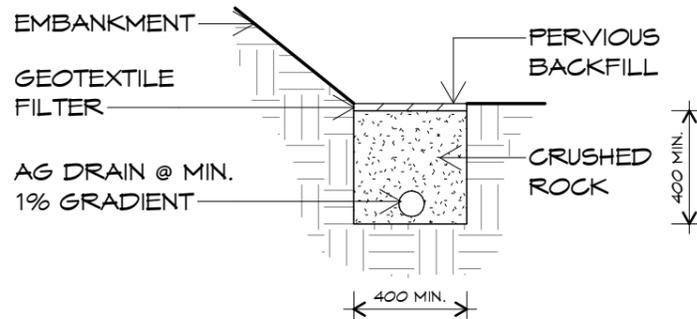
Drawing:
SITE PLAN

Date: **11.07.2024** Scale: **1 : 200**

Project/Drawing no: **PD23472 -01** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A





TYPICAL AG DRAIN DETAIL

N.T.S.

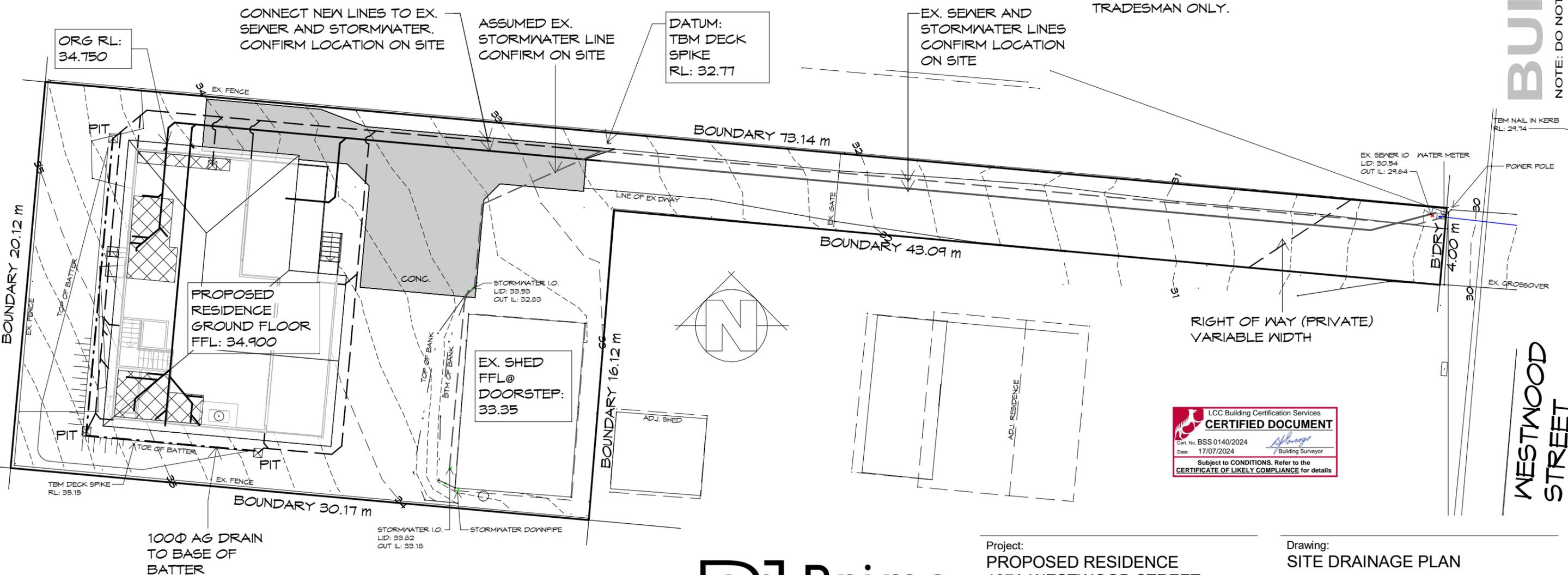
LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100Φ AG DRAIN

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



SITE DRAINAGE PLAN

1 : 200



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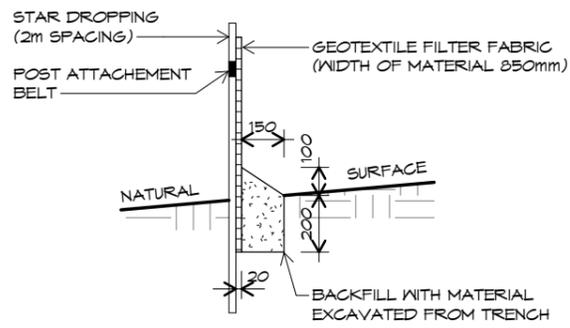
Drawing:
SITE DRAINAGE PLAN

Date: **11.07.2024** Scale: **As indicated**

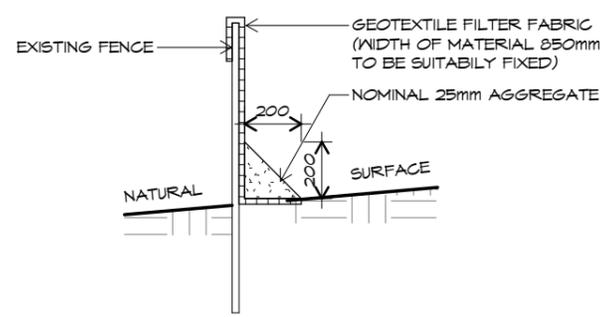
Project/Drawing no: **PD23472 -02** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A

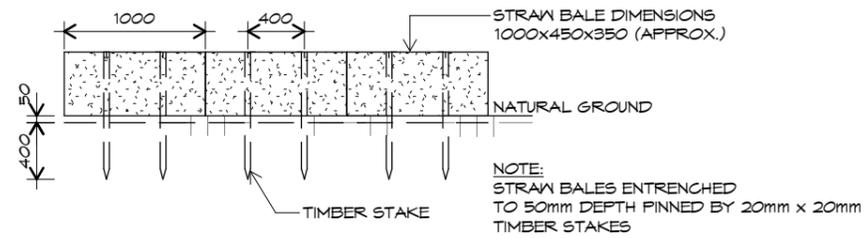
WESTWOOD STREET



SILT STOP TYPE 1
TEMPORARY FENCE



SILT STOP TYPE 2
EXISTING FENCE



STRAW BALE SEDIMENT TRAP SECTION DETAILS
NTS

NOTES:
SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

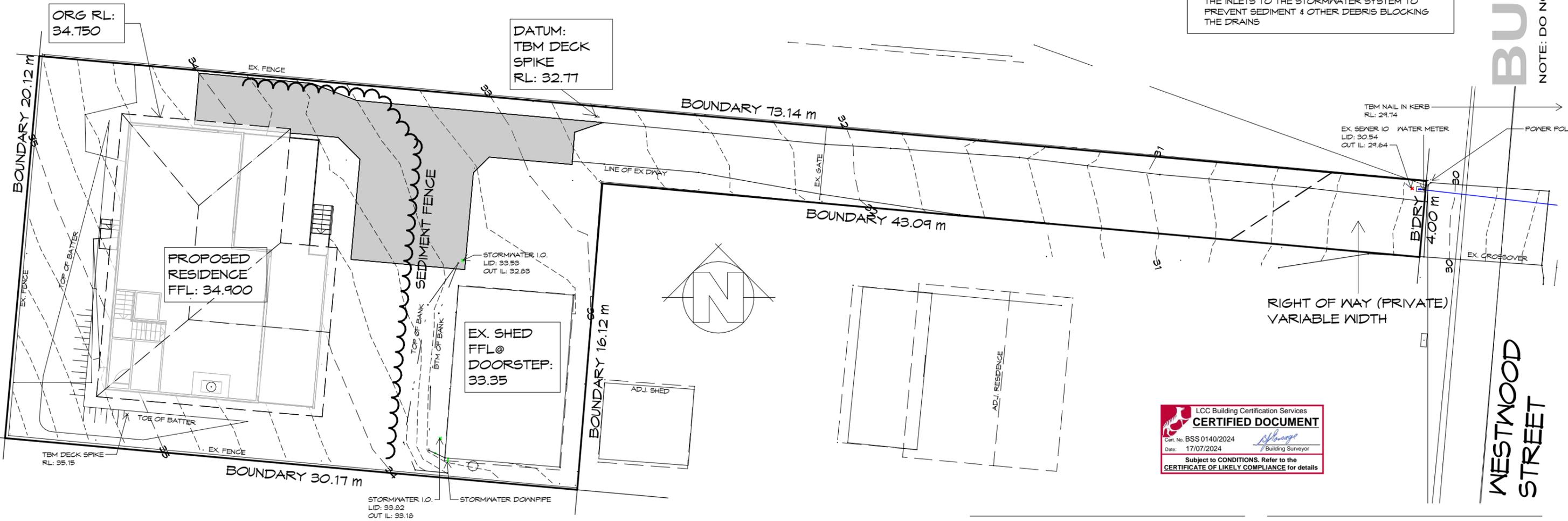
NOTES:

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID

NOTES:

1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



SOIL & WATER MANAGEMENT PLAN
1 : 200



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drafted by:
I.L.C./M.R.

Approved by:
A.J.C.



Drawing:
**SOIL & WATER MANAGEMENT
PLAN**

Date: **11.07.2024** Scale: **As indicated**

Project/Drawing no: **PD23472 -03** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



BUILDING

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Project:
**PROPOSED RESIDENCE
 127A WESTWOOD STREET
 BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
LOCALITY PLAN

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL THEREFORE REQUIRES A BUSHFIRE ASSESSMENT.
 RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5
 REFER TO ASSESSMENT FOR FURTHER DETAILS.
 ALL CONSTRUCTION MUST COMPLY WITH A53959.

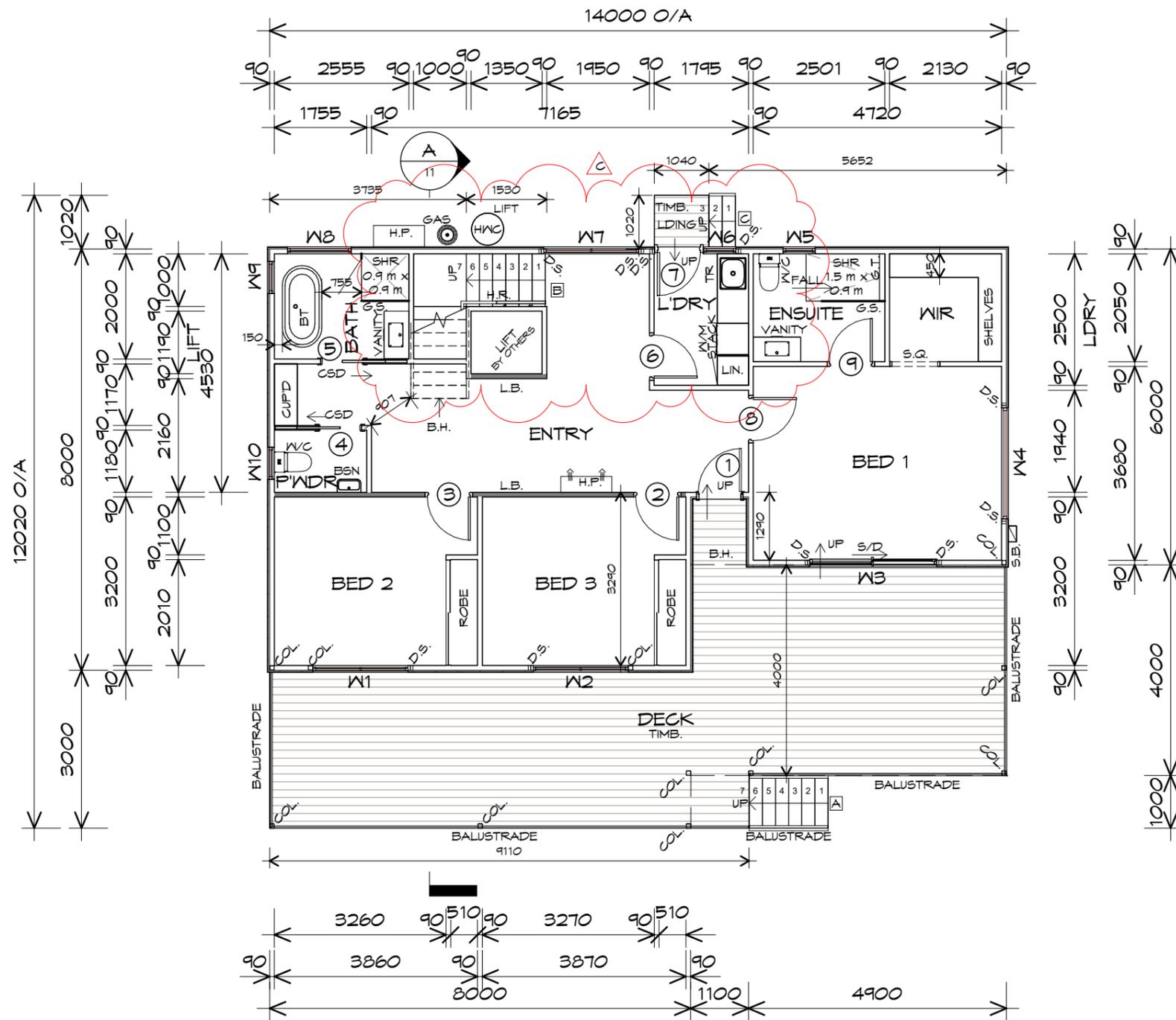
Drafted by: I.L.C./M.R. Approved by: A.J.C.

Date: 11.07.2024 Scale: 1 : 2000

Project/Drawing no: PD23472 -04 Revision: C

Accredited building practitioner: Frank Geskus -No CC246A





LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP
- H.R. HAND RAIL
- R/H RANGEHOOD, VENT TO OUTSIDE AIR
- WH WOOD HEATER
- WO WALL OVEN
- COL 89 SHS COLUMN TO ENGINEERS SPEC
- D/S DOUBLE STUD 2/90X45 TO ENGINEERS SPEC
- G.T. GRATED TRENCH
- L.B. LOAD BEARING WALL
- B.H. BULKHEAD
- FN. AS1926 COMPLIANT POOL FENCE FOR FUTURE SPA (IF REQUIRED)

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

	No RISERS	RISER HT	TREAD DEPTH
A	7	150	250
B	15	188	250
C	3	143	250

NON SLIP TO COMPLY NCC 2022



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GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	99.27	m ²	(10.69	SQUARES)
FIRST FLOOR AREA	100.75	m ²	(10.85	SQUARES)
GROUND FLOOR DECK AREA	50.99	m ²	(5.49	SQUARES)
FIRST FLOOR DECK AREA	48.39	m ²	(5.21	SQUARES)
TOTAL AREA	299.41		32.23	

NOTE:
DIMENSIONS DO NOT INCLUDE CLADDING

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF BAL-12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

- SMOKE ALARMS**
- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
 - SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

- WINDOW WITHIN WET AREA**
- C/W SAFETY GLASS AS PER AS1288.2021
 - BEVEL WINDOW SEAL
 - RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

- HANDRAIL**
- HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3



Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

Client name:
R.A. & D.J. LEACH

Drawing:
GROUND FLOOR PLAN

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**
Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -05** Revision: **C**
Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP
- H.R. HAND RAIL
- R/H RANGEHOOD, VENT TO OUTSIDE AIR
- WH WOOD HEATER
- WO WALL OVEN
- COL 89 SHS COLUMN TO ENGINEERS SPEC
- D/S DOUBLE STUD 2/90x45 TO ENGINEERS SPEC
- G.T. GRATED TRENCH
- L.B. LOAD BEARING WALL
- B.H. BULKHEAD
- FN. AS1926 COMPLIANT POOL FENCE FOR FUTURE SPA (IF REQUIRED)

STAIRS

	NO RISERS	RISER H'T	TREAD DEPTH
A	7	150	250
B	15	188	250
C	3	143	250

NON SLIP TO COMPLY NCC 2022



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Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

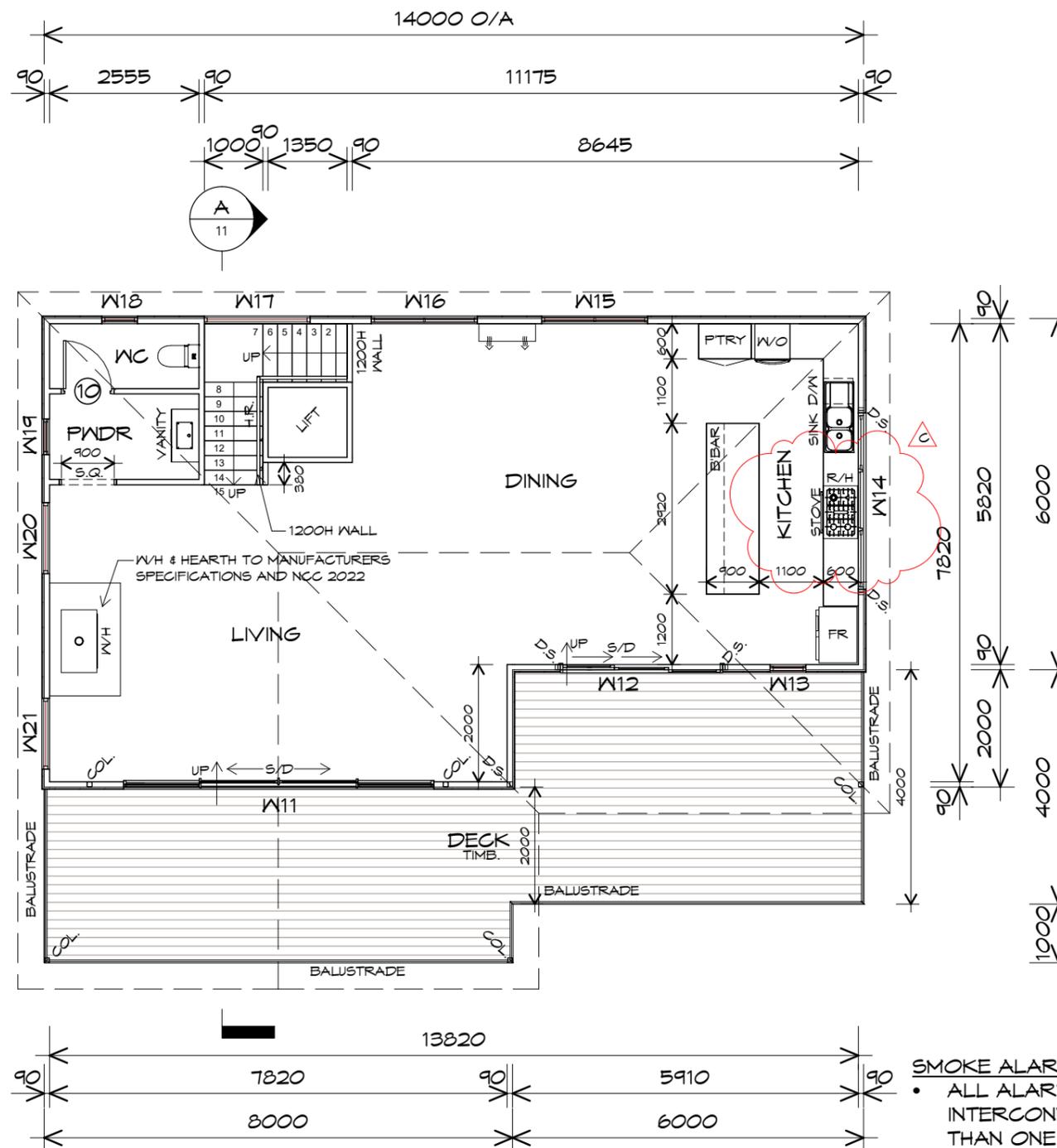
Client name:
R.A. & D.J. LEACH

Drawing:
FIRST FLOOR PLAN

Drafted by:
I.L.C./M.R. Approved by:
A.J.C.

Date:
11.07.2024 Scale:
1 : 100

Project/Drawing no:
PD23472 -06 Revision:
C
 Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	99.27	m ²	(10.69	SQUARES)
FIRST FLOOR AREA	100.75	m ²	(10.85	SQUARES)
GROUND FLOOR DECK AREA	50.99	m ²	(5.49	SQUARES)
FIRST FLOOR DECK AREA	48.39	m ²	(5.21	SQUARES)
TOTAL AREA	299.41		32.23	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF BAL-12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

NOTE:
 DIMENSIONS DO NOT INCLUDE CLADDING

FIREPLACES, CHIMNEYS & HEARTHES
 INSTALLATION OF FREESTANDING HEATING APPLIANCE TO COMPLY NCC 2022 HTD5, ABCB HOUSING PROVISIONS PART 12.4 APPLIANCE COMPLIANT WITH AS/NZS 2918.2018

HANDRAIL
 HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

WINDOW WITHIN NET AREA
 C/W SAFETY GLASS AS PER AS1288.2021 BEVEL WINDOW SEAL RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

SANITARY COMPARTMENTS
 MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	CAVITY SLIDING DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	EXTERNAL HALF GLASS	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
10	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1200	1810	AWNING WINDOW	
W3	2100	2410	SLIDING DOOR	
W4	600	2110	FIXED WINDOW	
W5	1200	610	AWNING WINDOW	OPAQUE
W6	1200	610	AWNING WINDOW	
W7	1200	1810	AWNING WINDOW	
W8	1200	1210	AWNING WINDOW	
W9	1200	610	AWNING WINDOW	
W10	1200	610	AWNING WINDOW	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W11	2400	5300	DOUBLE SLIDING DOOR	ANS 618 MAGNUM SLIDING DOOR. RECESSED SILL
W12	2400	2770	STACKING SLIDING DOOR	RECESSED SILL
W13	1800	610	AWNING WINDOW	
W14	910	3010	AWNING WINDOW	TOUGHENED GLASS
W15	600	1810	AWNING WINDOW	
W16	600	1810	AWNING WINDOW	
W17	1200	1810	FIXED WINDOW	OPAQUE
W18	1200	610	AWNING WINDOW	OPAQUE
W19	1200	610	AWNING WINDOW	OPAQUE
W20	600	1210	FIXED WINDOW	
W21	600	1210	FIXED WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **12.5 BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

ARTIFICIAL LIGHTING					
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD
KITCHEN	15.88	m2	5.00	W/m2	79.40 W
BED 1	17.37	m2	5.00	W/m2	86.85 W
BED 2	11.09	m2	5.00	W/m2	55.46 W
BED 3	11.12	m2	5.00	W/m2	55.62 W
ENSUITE	5.13	m2	5.00	W/m2	25.63 W
BATH	5.11	m2	5.00	W/m2	25.55 W
WC	2.84	m2	5.00	W/m2	14.18 W
WIR	4.37	m2	5.00	W/m2	21.83 W
DINING	30.11	m2	5.00	W/m2	150.53 W
LIVING	36.80	m2	5.00	W/m2	184.01 W
L'DRY	4.49	m2	5.00	W/m2	22.43 W
ROBE	1.03	m2	5.00	W/m2	5.13 W
ROBE	1.03	m2	5.00	W/m2	5.13 W
ENTRY	22.38	m2	5.00	W/m2	111.88 W
STAIRS	3.50	m2	5.00	W/m2	17.50 W
P'WDR	2.07	m2	5.00	W/m2	10.35 W
P'WDR	3.73	m2	5.00	W/m2	18.65 W
LIFT	1.61	m2	5.00	W/m2	8.03 W
DECK	49.77	m2	4.00	W/m2	199.08 W
DECK	47.35	m2	4.00	W/m2	189.39 W
LDING	1.02	m2	4.00	W/m2	4.07 W
TOTALS	277.76	m2			1290.69 W

ARTIFICIAL LIGHTING

THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER ABCB HOUSING PROVISIONS PART 13.7.6

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING



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BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**



Drawing:
**DOOR AND WINDOW
SCHEDULES**

Date: **11.07.2024** Scale:

Project/Drawing no: **PD23472 -07** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A

TIMBER DECK
 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684
 ALL EXTERNAL DECK COMPONENTS TO BE TAN E TREATED PINE (F5)
 ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.
 REFER AS 1684, AS1720.1 & NCC 2022 H1D6
 FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2

EAVES
 OVER HANG ROOF 450mm U.N.O.
 FRAME FOR LEVEL EAVES
 LINE ALL SOFFITS
 WITH HARDIFLEX SHEETING.
 IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

SCYON LINEA 150 (ON BATTENS)
 INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

PROTECTION OF WINDOWS
 • PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
 • ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7

LINE U/S WITH HARDIFLEX
 INSTALL AS PER MANUFACTURERS SPECIFICATION
DAMP PROOF COURSE
 TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
 ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

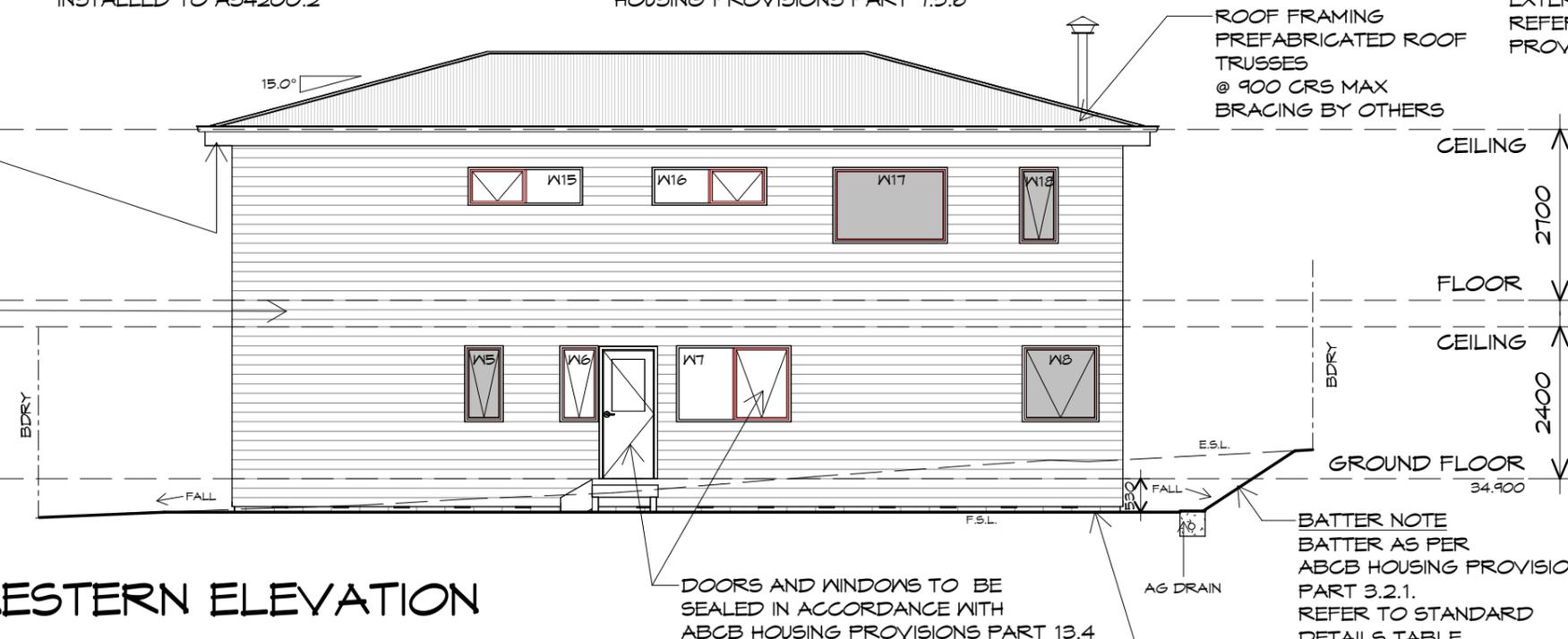
GLAZING
 ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8
 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288
 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047
 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

BUILDING MEMBRANE
 IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1
 FLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

FLASHINGS TO WALL OPENINGS
 OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

WINDOWS
 POWDER COATED ALUMINIUM WINDOW FRAMES
 ANNING OPENING
 REVEALS AND TRIMS TO CLIENTS SPEC.
 ALL FLASHING TO MANUFACTURERS SPECIFICATION
 EXTERNAL SILLS
 REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

WESTERN ELEVATION



NORTHERN ELEVATION

1 : 100

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF BAL-12.5
 REFER TO ASSESSMENT FOR FURTHER DETAILS.
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND
 • 150mm
 • 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONG. OR PAVED
 WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

SUB-FLOOR VENTILATION
 PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 6.2
 CLIMATE ZONE 7 TO BE ADOPTED.
 6000mm SQ PER METRE OF WALL
 REFER TO MANUFACTURE SPECS.
 240mm x 86mm VENTS @ 1000 CRS
 VENTS TO BE SUITABLE FOR THE ASSESSED LEVEL OF CORROSIVE ENVIRONMENT.



ALL FIXINGS AS PER MANUFACTURERS SPECIFICATION TO SUIT CORROSIVE ENVIRONMENT, IN ACCORDANCE WITH NCC 2022, ABCB HOUSING PROVISIONS PART 7.2



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Client name:
R.A. & D.J. LEACH

Drawing:
ELEVATIONS

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -08** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

FIREPLACES, CHIMNEYS & HEARTHES
 INSTALLATION OF FREESTANDING HEATING APPLIANCE
 TO COMPLY NCC 2022 HTD5, ABCB HOUSING
 PROVISIONS PART 12.4
 APPLIANCE COMPLIANT WITH AS/NZS 2918.2018

FASCIA
 COLORBOND FOLDED METAL
 -GUTTER TO CLIENTS SPEC
 -FASCIA TRIM ALL ROUND
 INSTALLED IN ACCORDANCE
 WITH THE MANUFACTURER'S
 INSTRUCTIONS.
 COLOUR TO BE SELECTED

LINE U/S WITH HARDIFLEX
 INSTALL AS PER MANUFACTURERS
 SPECIFICATION

BALUSTRADE
 HANDRAIL TO BE 1000mm HIGH MINIMUM
 865 MINIMUM FOR STAIRS
 90x90 POSTS @ 900 CRS
 TOP RAIL TO BE EITHER
 STEEL TUBING MINIMUM 40mm DIAMETER
 OR 90x45 F5 T. PINE TAN E RADIATA
 WIRE 1x19 LAY 3mm STAINLESS STEEL WIRE @ 100 CRS
 TENSIONED TO 1705N
 MAXIMUM DEFLECTION IN THE WIRE BALUSTRADES
 WHEN A 2kg MASS IS SUSPENDED MIDSPAN BETWEEN -2mm
 POSTS USE RONSTAN THREADED ADJUSTOR RF: 5340
 RONSTAN 4mm MICROLOCK SWAGE TERMINAL RF: 3211404
 TENSIONERS AT EVERY STRAND
 OF WIRE AND AT CHANGE OF DIRECTION
 TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3
 ALL FIXINGS TO BE STAINLESS STEEL

ALTERNATIVELY F5 T. PINE TAN E
 75x45 TOP & BOTTOM RAIL
 19x45 F5 T. PINE TAN E VERTICAL PICKETS WITH
 125 MM MAX GAP & 90x45 F5 T. PINE TAN E TOP RAIL
 TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

SCYON LINEA 150 (ON BATTENS)
 INSTALL AND COAT TO MANUFACTURERS
 SPECIFICATIONS.

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
 PART 3.2.1.
 REFER TO STANDARD
 DETAILS TABLE

SOUTHERN ELEVATION

1 : 100

STEEL CORROSION PROTECTION IN ACCORDANCE WITH ABCB HOUSING PROVISIONS, PART 6.3.9
 TABLE 6.3.9a: MINIMUM PROTECTIVE COATINGS FOR STRUCTURAL STEEL MEMBERS

ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING		
		OPTION 1	OPTION 2	OPTION 3
HIGH (MILD STEEL CORROSION RATE 50 TO 80 MM/YEAR)	TYPICALLY MORE THAN 200 M FROM BREAKING SURF OR AGGRESSIVE INDUSTRIAL AREAS OR WITHIN 50 M FROM SHELTERED BAYS	HDG450	HDG150 (5 years) 4D (10-15 years) or HDG300 (10 years) 2D (5-10 years)	ACC6, IZS3, PUR5

TABLE NOTES:
 HOT DIP GALVANISING AND DUPLEX SYSTEMS MUST BE IN ACCORDANCE WITH AS 2312.2. PAINT SYSTEMS
 MUST BE IN ACCORDANCE WITH AS 2312.1.

ROOF FRAMING
 RAFTERS @ 900 CRS MAX
 BRACING BY OTHERS

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

EAVES
 OVER HANG ROOF 450mm U.N.O.
 FRAME FOR LEVEL EAVES
 LINE ALL SOFFITS
 WITH HARDIFLEX SHEETING.
 IN ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 7.5.5
 WINDOWS
 POWDER COATED ALUMINIUM WINDOW
 FRAMES ANNING OPENING
 REVEALS AND TRIMS TO CLIENTS SPEC.
 ALL FLASHING TO MANUFACTURERS
 SPECIFICATION
 REFER AS 1288, AS 2047 & ABCB HOUSING
 PROVISIONS PART 8.2

EASTERN ELEVATION

1 : 100

FLASHINGS TO WALL OPENINGS
 OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO
 WEATHER MUST BE FLASHED WITH MATERIAL
 COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM &
 SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE
 FOR FRAMING & CLADDING USED. TO COMPLY ABCB
 HOUSING PROVISIONS PART 7.5.6

SUB-FLOOR VENTILATION
 PROVIDE EVENLY SPACED VENTILATION
 OPENINGS TO SUB-FLOOR STRICTLY IN
 ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 6.2
 CLIMATE ZONE 7 TO BE ADOPTED.
 6000mm SQ PER METRE OF WALL
 REFER TO MANUFACTURE SPECS.
 240mm x 86mm VENTS @ 1000 CRS
 VENTS TO BE SUITABLE FOR THE ASSESSED
 LEVEL OF CORROSIVE ENVIRONMENT.

ALL FIXINGS AS PER
 MANUFACTURERS SPECIFICATION
 TO SUIT CORROSIVE
 ENVIRONMENT, IN ACCORDANCE
 WITH NCC 2022, ABCB HOUSING
 PROVISIONS PART 7.2

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
 BUSHFIRE ATTACK LEVEL (BAL) OF BAL-12.5
 REFER TO ASSESSMENT FOR FURTHER DETAILS.
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.



MINIMUM CLEARANCE BETWEEN CLADDING & GROUND
 • 150mm
 • 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY.
 CONC. OR PAVED
 WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER
 OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO
 COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

BUILDING MEMBRANE
 IN ACCORDANCE WITH ABCB HOUSING PROVISIONS
 PART 10.8.1
 PLIABLE BUILDING MEMBRANE INSTALLED TO
 EXTERIOR OF FRAMEWORK, TO BE VAPOUR
 PERMEABLE TO COMPLY WITH AS4200.1 & BE
 INSTALLED TO AS4200.2



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 R.A. & D.J. LEACH

Drawing:
 ELEVATIONS

Drafted by: I.L.C./M.R. Approved by: A.J.C.

Date: 11.07.2024 Scale: 1 : 100

Project/Drawing no: PD23472 -09 Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD
SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

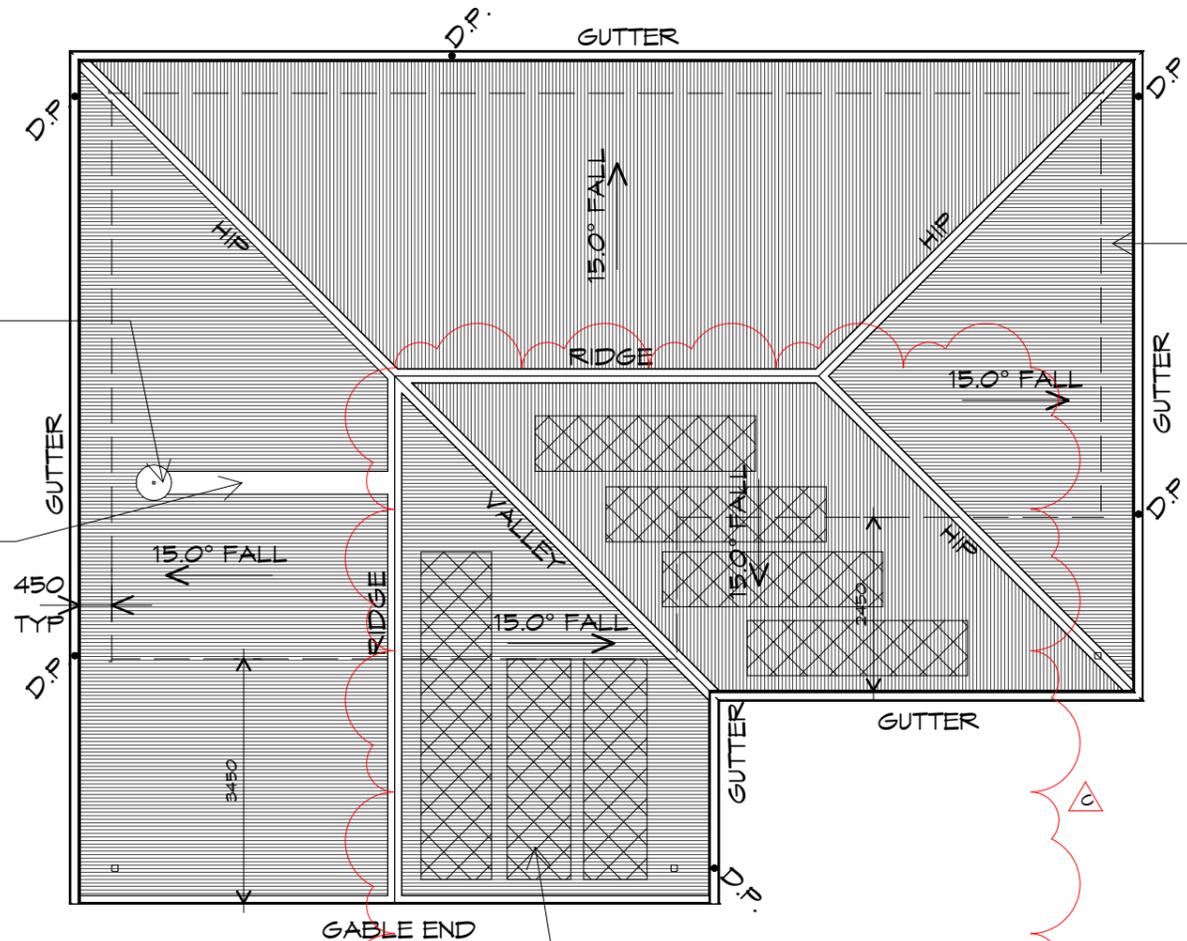
OVERFLOW MEASURES
INSTALL FRONT FACE SLOTTED GUTTER OR 10mm CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER. BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA INSTALL IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.6

FIREPLACES, CHIMNEYS & HEARTHES INSTALLATION OF FREESTANDING HEATING APPLIANCE TO COMPLY NCC 2022 HTD5, ABCB HOUSING PROVISIONS PART 12.4 APPLIANCE COMPLIANT WITH AS/NZS 2918.2018

COLORBOND FLASHING (TYPICAL), REFER TO ROOF SHEETING - CORROSIVE ENVIROMENT NOTE.

VENTILATION SCHEDULE (ROOF PITCH UNDER 16°)									
ROOF	CEILING AREA (m2)	ROOF PITCH	SUPPLY AREA REQUIRED (m2)	EXHAUST AREA REQUIRED (m2)	VENT WIDTH	VENT LENGTH	VENT AREA (m2)	OPENING	SUPPLY NUMBER REQUIRED
	99.97	15.0°	0.50	0.17	220 mm	420 mm	0.09	37%	15

THE ABOVE IS BASED UPON CBOS CONDENSATION IN BUILDINGS - TASMANIAN DESIGNERS GUIDE - VERSION 2



ROOF PLAN

1 : 100

SHEET ROOFING IN ACCORDANCE WITH NCC 2022 ABCB HOUSING PROVISIONS PART 7. TABLE 7.2.2a ACCEPTABLE CORROSION PROTECTION FOR METAL SHEET ROOFING

ENVIRONMENT	LOCATION	MINIMUM METAL COATING IN ACCORDANCE WITH AS 1397: METALLIC COATED STEEL	MINIMUM METAL COATING IN ACCORDANCE WITH AS 1397: METALLIC AND ORGANIC COATED STEEL
HIGH (MILD STEEL CORROSION RATE 50 TO 80 µm/Y)	TYPICALLY MORE THAN 200 M FROM BREAKING SURF OR AGGRESSIVE INDUSTRIAL AREAS OR WITHIN 50 M FROM SHELTERED BAYS.	AZ150 ALUMINIUM/ZINC OR AM125 ALUMINIUM/ZINC/MAGNESIUM	AZ150 ALUMINIUM/ZINC OR AM100 ALUMINIUM/ZINC/MAGNESIUM



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Drawing:
ROOF PLAN

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**
Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -10** Revision: **C**
Accredited building practitioner: Frank Geskus -No CC246A



BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

ROOF FRAMING (TRUSSES)
 CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING COLORBOND COLOUR TO SELECTION, OVER 75 x 38 HWD NAILING BATTENS AT 900 CRS AND APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 NO 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH AS1684

FLOORING
 INSTALLATION OF PARTICLE FLOORING TO COMPLY WITH AS1860.2

PAINTING
 DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD. ALL INTERNAL WOODWORK TO CLEAR NATURAL SATIN FINISH.

ARCHITRAVES
 ARCHITRAVES AND SKIRTINGS TO CLIENT SPEC

BATTER NOTE
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

BATHROOM WATER PROOFING
 UNENCLOSED AND ENCLOSED SHOWER AREAS TO BE WATERPROOF TO ENTIRE SHOWER AREA AREAS OUTSIDE SHOWER AREA AND BATH/SPA;
 • TIMBER FLOORS TO BE WATER PROOF OVER ENTIRE SURFACE
 • CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOOR TO HAVE WATER RESISTANT TO ENTIRE SURFACE
 REFER TO ABCB HOUSING PROVISIONS PART 10.2 FOR ALTERNATIVES
 BATH/FLOOR & WALL FLOOR JUNCTIONS MUST BE WATER PROOFED TO 25mm ABOVE FINISHED FLOOR LEVEL
 A "WATERSTOP" ANGLE IS REQUIRED AT DOORWAYS FLUSH WITH FINISHED SURFACE LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2 & AS3740. REFER TO DETAILS IN DRAWING SET.

ROOFING SISALATION
 ROOFING SISALATION IS TO BE DISCONTINUOUS (CUT BACK TO TOP BATTENS) AT THE RIDGE PROVIDING RIDGE VENTILATION IN ACCORDANCE WITH 10.8.3 OF THE HOUSING PROVISIONS. NSTALL 12MM APERTURE MESH UNDER THE RIDGE (FASTENED TO TOP BATTEN EITHER SIDE) TO MAINTAIN BAL COMPLIANCE

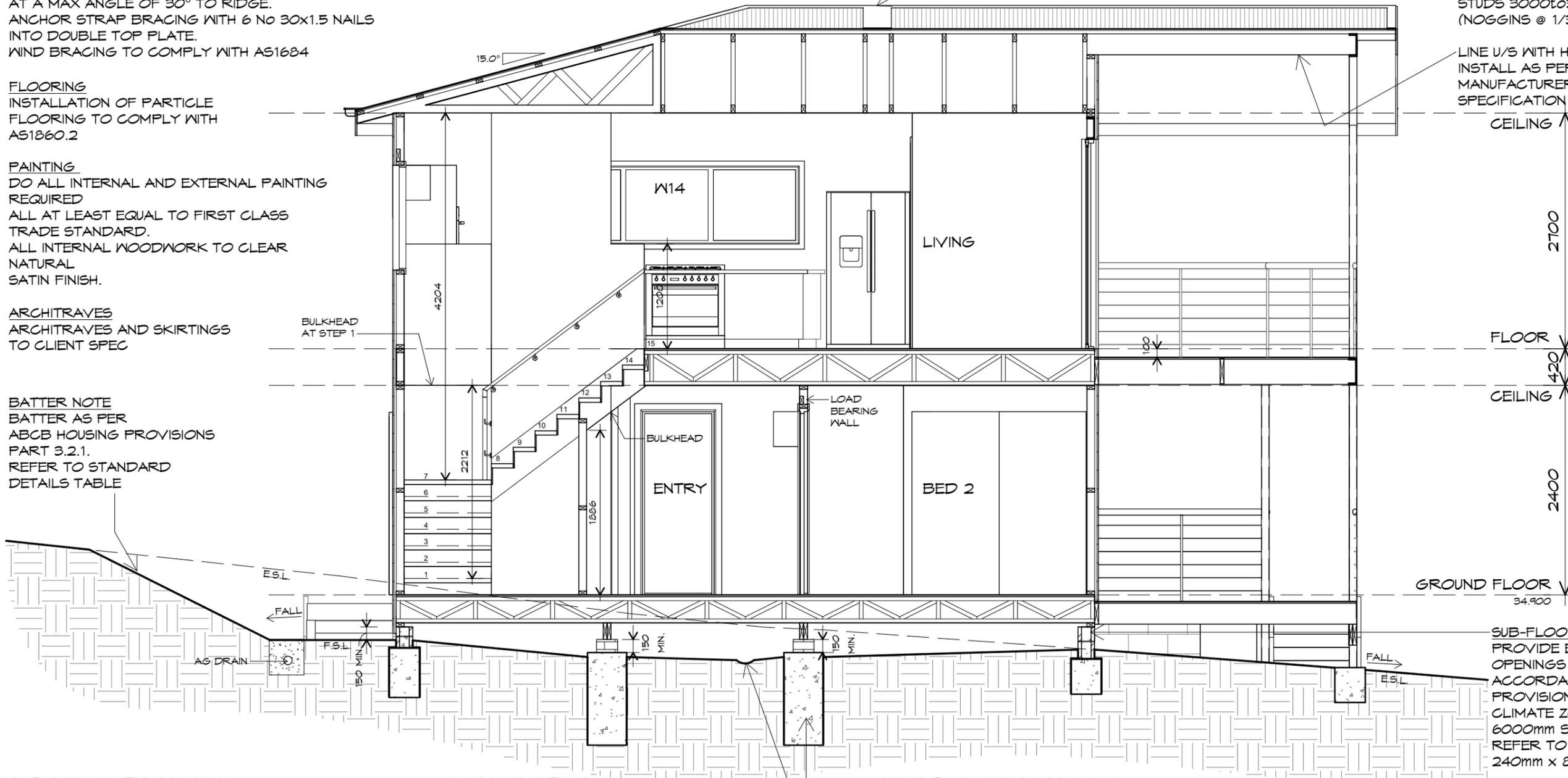
COLORBOND FLASHING (TYPICAL), REFER TO ROOF SHEETING - CORROSIVE ENVIROMENT NOTE.

PLASTER
 LINE WALLS AND CEILING INTERNALLY WITH 10mm PLASTERBOARD SHEETING. METAL FURRING CHANNEL @ 450 CRS VILLABOARD OR EQVA WALL LINING TO WET AREAS AS SPECIFIED & TO COMPLY WITH ABCB HOUSING PROVISIONS PART 10.2.

WALL FRAMING
 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF THE NCC 2022 H1D6, AS1684 & AS1720 WALL FRAMING TO BE MGP10 RADIATA COMMON STUDS - 90x35 NOGGINS - 90x35 TOP AND BOTTOM PLATES - 90x35

STUDS 3000to3500 - 2/90x45 @ 450 CRS (NOGGINS @ 1/3 POINTS)

LINE U/S WITH HARDIEFLEX INSTALL AS PER MANUFACTURERS SPECIFICATION



CEILING 2700
 FLOOR 420
 CEILING 2400
 GROUND FLOOR 34.900

SUB-FLOOR VENTILATION
 PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 6.2
 CLIMATE ZONE 7 TO BE ADOPTED. 6000mm SQ PER METRE OF WALL REFER TO MANUFACTURE SPECS. 240mm x 86mm VENTS @ 1000 CRS

REFER TO ENGINEERS DRAWINGS FOR SLAB DETAILS
 FORM SPOON DRAIN IN SUBFLOOR

SLABS & FOOTINGS
 ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

SECTION A
 1 : 50
 05



BUILDING
 NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

Client name:
R.A. & D.J. LEACH

Drafted by:
I.L.C./M.R.

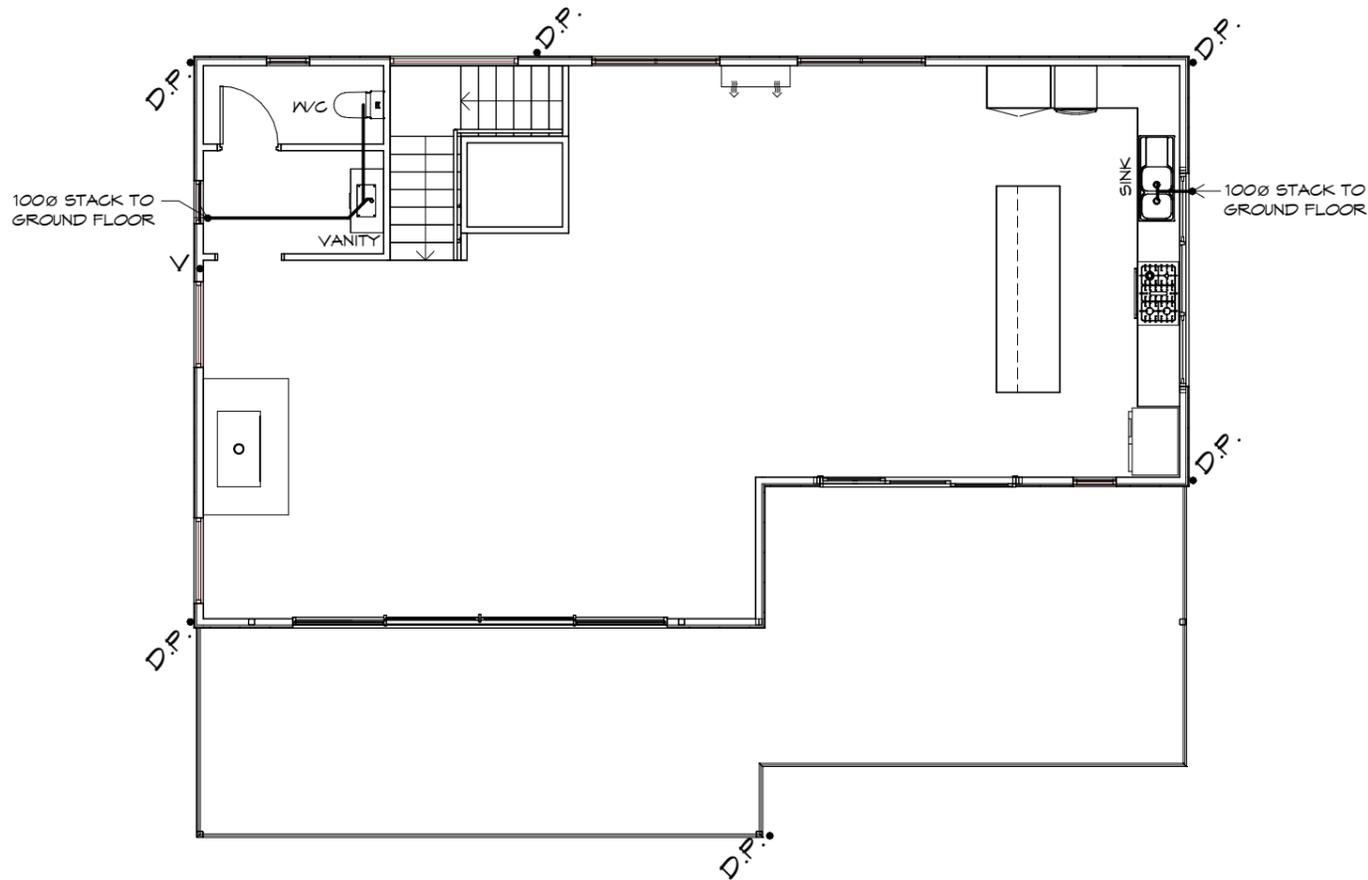
Approved by:
A.J.C.



Drawing:
SECTION

Date: **11.07.2024** Scale: **1 : 50**

Project/Drawing no: **PD23472 -11** Revision: **C**
 Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLUMBING PLAN

1 : 100

NOTE:
PLUMBING MAY BE SUBJECT TO
CHANGE DUE TO UNFORESEEN
SITE/HEIGHT CONDITIONS.

READ IN CONJUNCTION WITH
SITE DRAINAGE PLAN

NOTE: ALL WATERPROOFING WORK MUST
COMPLY WITH THE REQUIREMENTS OF THE
ABCB HOUSING PROVISIONS PART
10.2.1-10.2.32 IN FULL AND MUST BE
CARRIED OUT BY A LICENSED TRADESMEN
ONLY.



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PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL
ONLY AND IS SUBJECT TO AMENDMENT TO
COMPLY WITH THE REQUIREMENTS OF THE LOCAL
AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS
OF AS 3500.2021 & THE NATIONAL CONSTRUCTION CODE.
AND MUST BE CARRIED OUT BY A LICENCED
TRADESMAN ONLY.

LEGEND OF DIAMETERS

TROUGH = 50mm
SINK = 50mm
BATH = 40mm
BASIN = 40mm
SHOWER = 50mm
WC = 100mm
SEWER = 100mm uPVC
ORG = OVERFLOW RELIEF GULLY
VENT = 50mm
DP = 90mm
STORMWATER = 100mm uPVC

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER
PIPE, MUST COMPLY WITH AS/NZS 3500.2021.
MAIN COLD WATER LINE FROM METER TO HOUSE
TO BE DN 25mm WITH DN 16mm BRANCHES &
HOT WATER MAIN LINES TO BE DN 20mm
WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER
PRODUCTS USED ARE TO COMPLY WITH THE
REQUIREMENTS OF AS/NZS 3500.2021.

HOT WATER INSTALLATION SHALL DELIVER HOT WATER
TO ALL SANITARY FIXTURES USED FOR PERSONAL
HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL
BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS
3500.2021.

AT THE PROPERTY BOUNDARY, AN APPROVED
BACKFLOW PROTECTION VALVE IS TO BE FITTED
BEFORE EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING.

FINAL PITS LOCATION AND NUMBER TO BE CONFIRMED ON SITE TO
ENSURE SURFACE WATER IS REMOVED FROM AROUND HOUSE.

☒ 300X300 EVERHART SURFACE DRAINAGE PIT
450X450 SURFACE DRAINAGE PIT
AT LOCATION OF DRIVEWAY/BATTERS

HOT WATER CYLINDER TO BE INSTALLED AS PER NCC 2022 VOL 3

Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

Drawing:
FIRST FLOOR PLUMBING PLAN

Client name:
R.A. & D.J. LEACH

Date: 11.07.2024
Scale: 1 : 100

Drafted by:
I.L.C./M.R.

Approved by:
A.J.C.

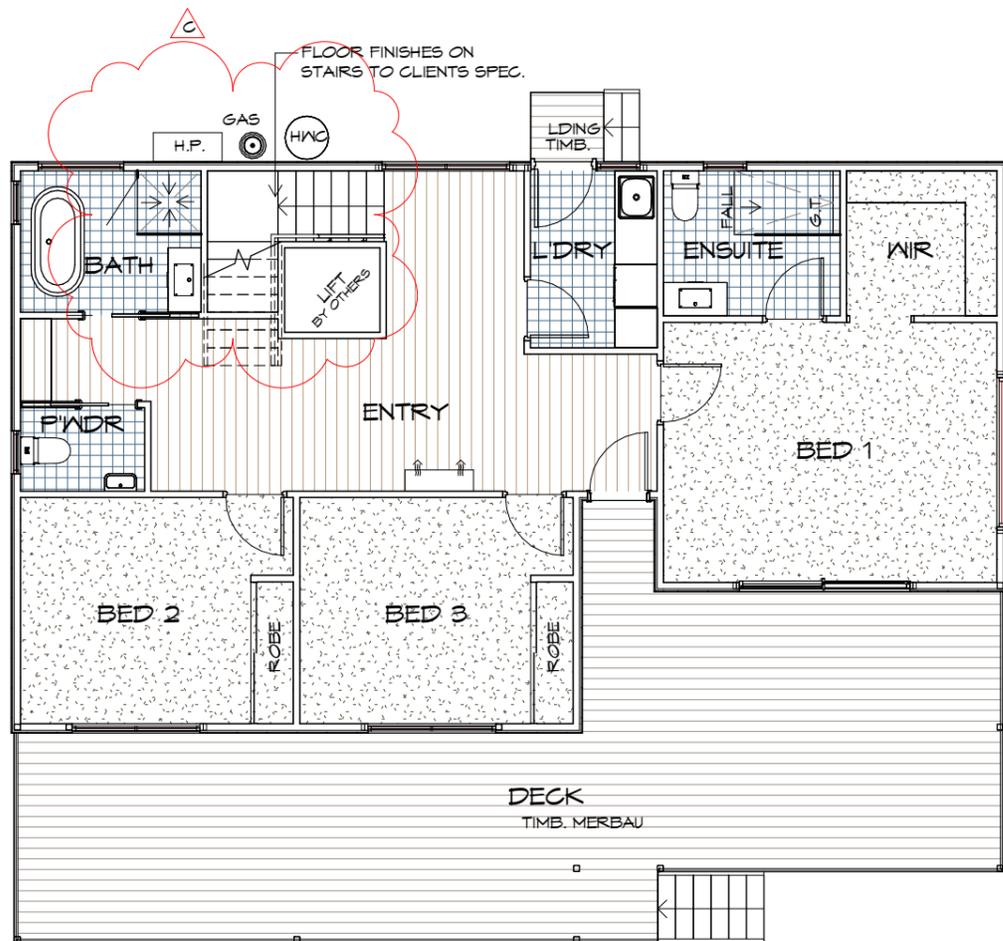


Project/Drawing no:
PD23472 -13

Revision:
C

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

-  CARPET
-  TILES
-  TIMBER DECK MERBAU, TO BAL 12.5
-  TIMBER LAMINATE

FLOOR WASTE

WHERE A FLOOR WASTE IS INSTALLED—

- THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND
- THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50. TO COMPLY ABCB HOUSING PROVISIONS PART 10.2.12

GROUND FLOOR FINISHES PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
GROUND FLOOR FINISHES PLAN

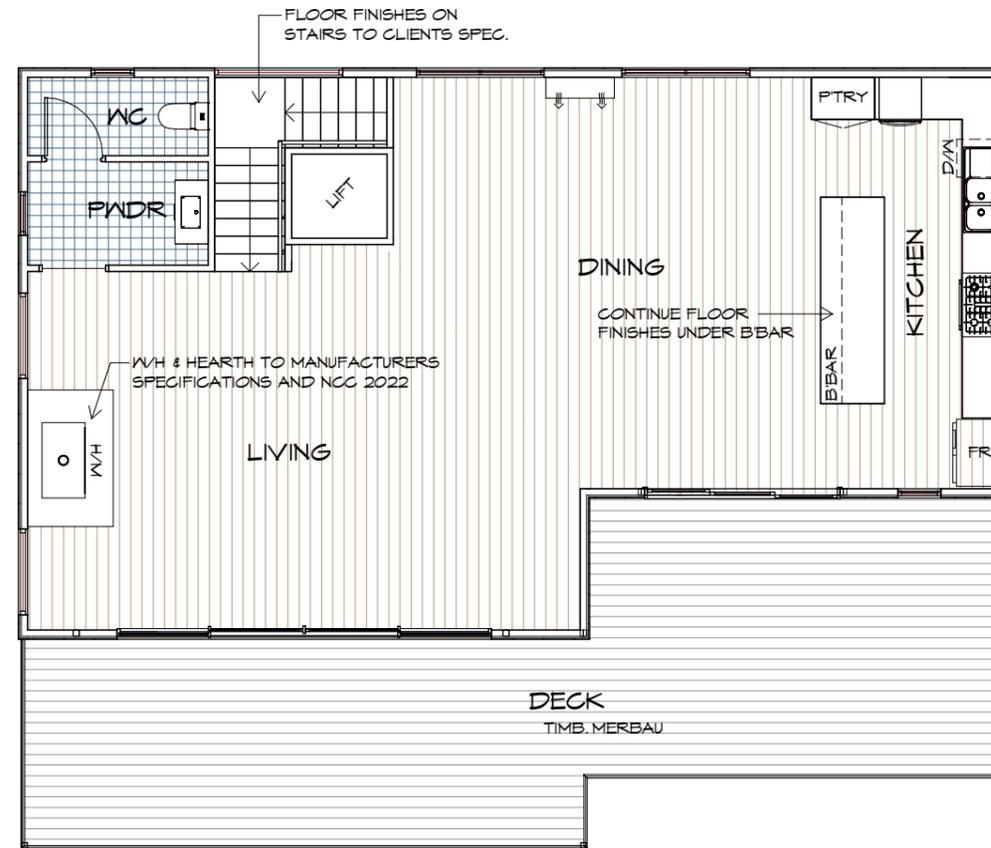
Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -14** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A





LEGEND

-  TILES
-  TIMBER DECK MERBAU, TO BAL 12.5
-  TIMBER LAMINATE

FIRST FLOOR FINISHES PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
FIRST FLOOR FINISHES PLAN

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -15** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
 - L.E.D. - SEALED DOWN LIGHT *
 - HANGING PENDANT
 - WEATHERPROOF WALL LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH

WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- T.V. OUTLET

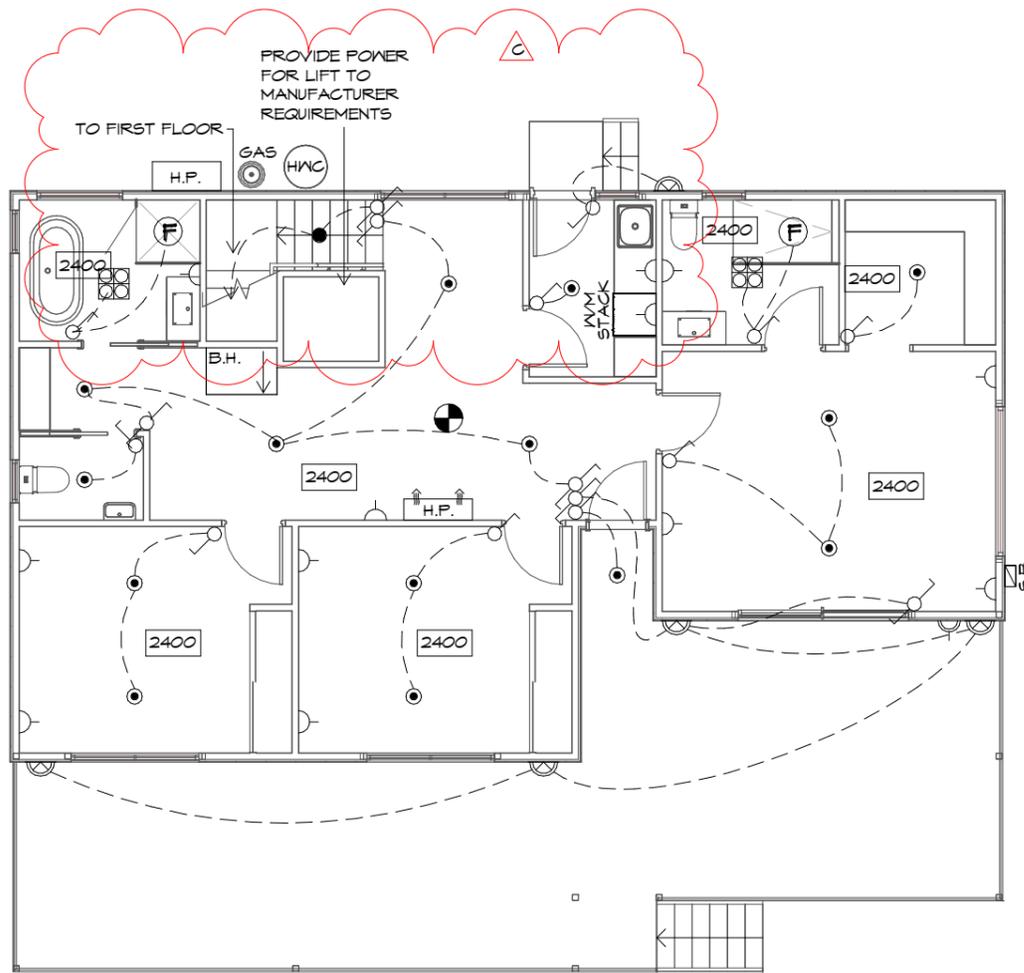
NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

- DENOTES CEILING HEIGHT
- H.P. HIGH POINT
- L.P. LOW POINT
- SLOPE
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES

HEATING

- HEAT PUMP
- HEAT PUMP, OUTDOOR UNIT



GROUND FLOOR ELECTRICAL PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 13.7.6

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m² FOR CLASS 1 BUILDING
- 4W/m² FOR VERANDAHS & BALCONIES
- 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

NOTE: ALL LED DOWNLIGHTS TO BE IC-F RATED

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
**ELECTRICAL/REFLECTED
CEILING PLAN**

Drafted by: I.L.C./M.R. Approved by: A.J.C.

Date: 11.07.2024 Scale: 1 : 100

Project/Drawing no: PD23472 -16 Revision: C



Accredited building practitioner: Frank Geskus -No CC246A

BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

ELECTRICAL INDEX

LIGHTING

-  FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
 -  L.E.D. - SEALED DOWN LIGHT *
 -  HANGING PENDANT
 -  WEATHERPROOF WALL LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

-  240V SMOKE ALARM
-  SWITCH BOX
-  EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
-  RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SWITCH TYPE

-  ONE-WAY SWITCH
-  TWO-WAY SWITCH

WALL OUTLETS

-  GENERAL PURPOSE OUTLET (DOUBLE)
-  T.V. OUTLET

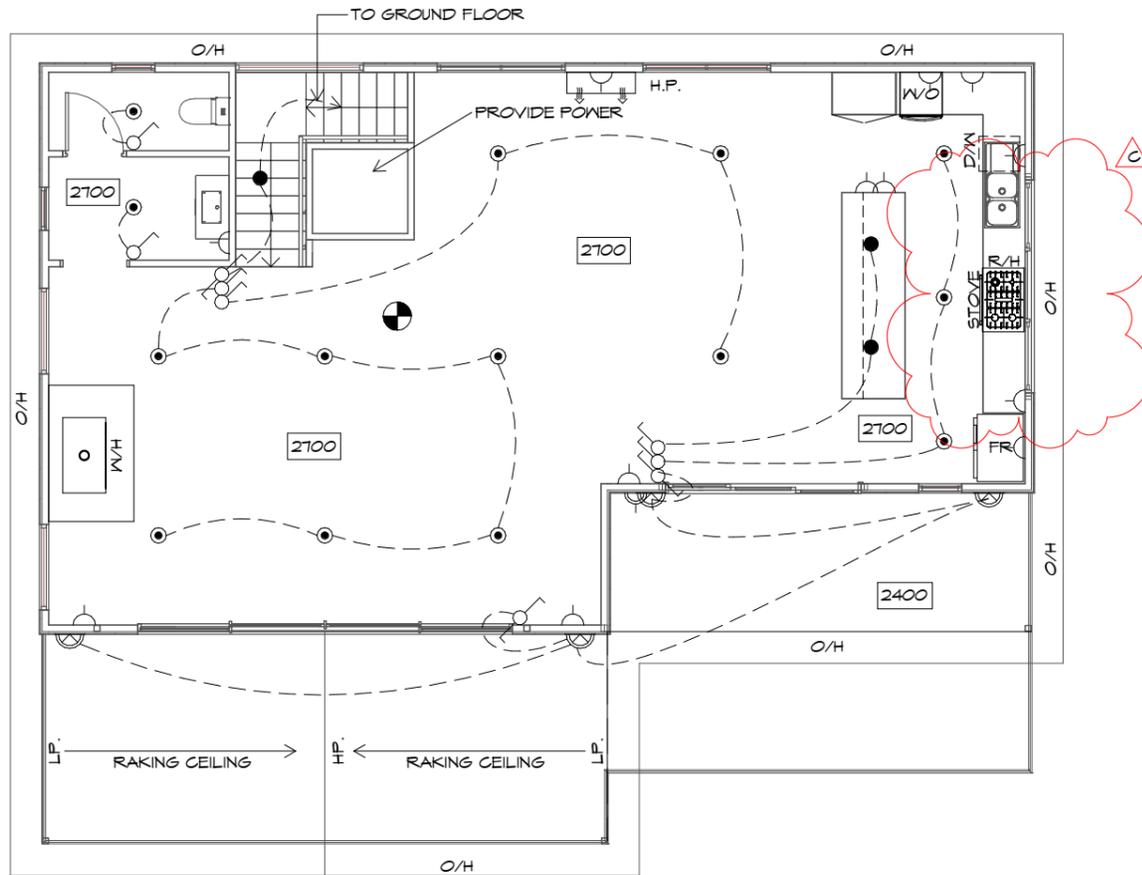
NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

-  DENOTES CEILING HEIGHT
- H.P. HIGH POINT
- L.P. LOW POINT
-  SLOPE
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES

HEATING

- H.P.  HEAT PUMP
- H.P.  HEAT PUMP, OUTDOOR UNIT



FIRST FLOOR ELECTRICAL PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

NOTE: ALL LED DOWNLIGHTS TO BE IC-F RATED

ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 13.7.6

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m² FOR CLASS 1 BUILDING
- 4W/m² FOR VERANDAHS & BALCONIES
- 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
**ELECTRICAL/REFLECTED
CEILING PLAN**

Drafted by: I.L.C./M.R. Approved by: A.J.C.

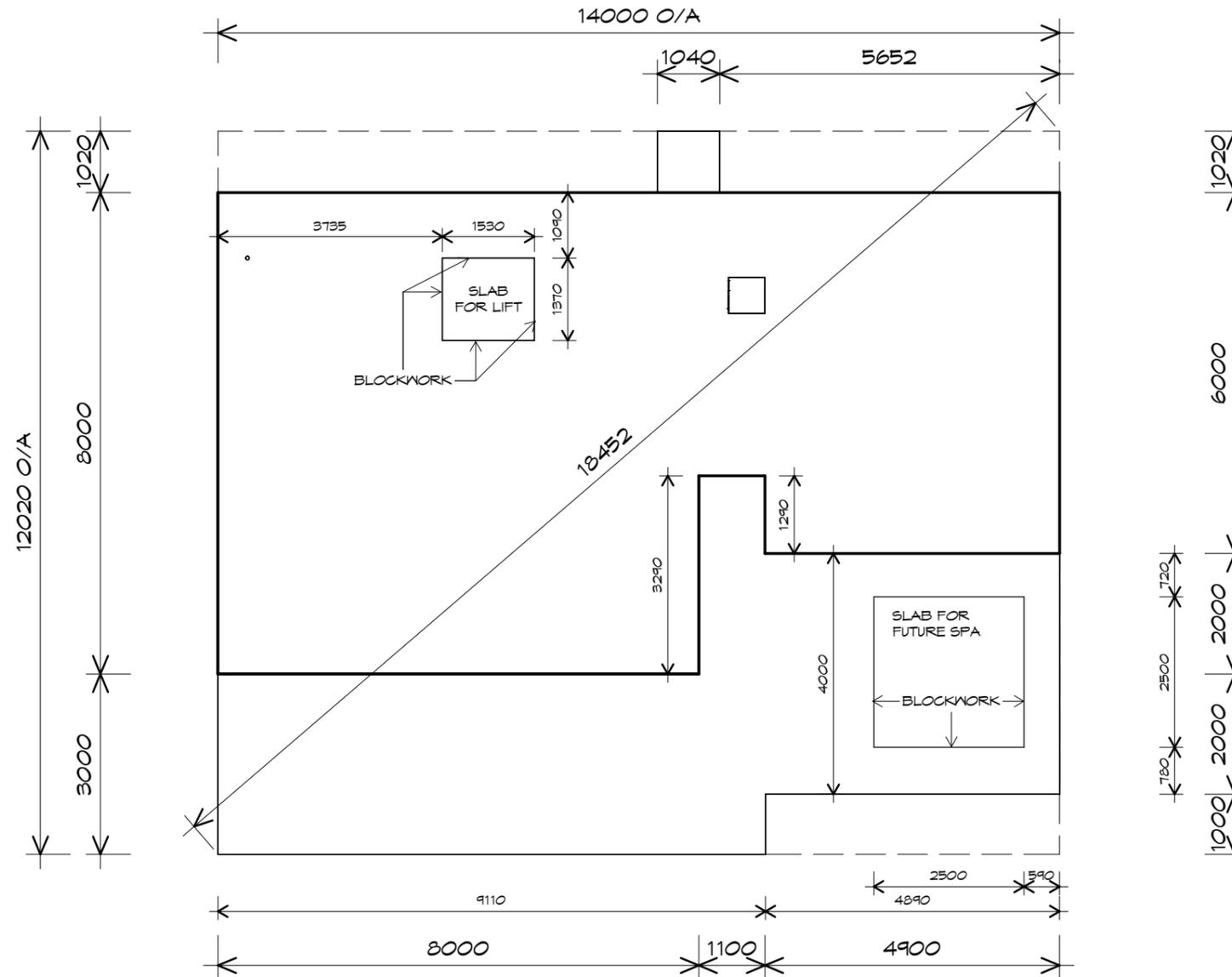
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SETOUT PLAN

1 : 100

NOTE: SETOUT TO EXTERNAL FACE OF STUD FRAME U.N.O.

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
SETOUT PLAN

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Date: **11.07.2024** Scale: **1 : 100**

Project/Drawing no: **PD23472 -18** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



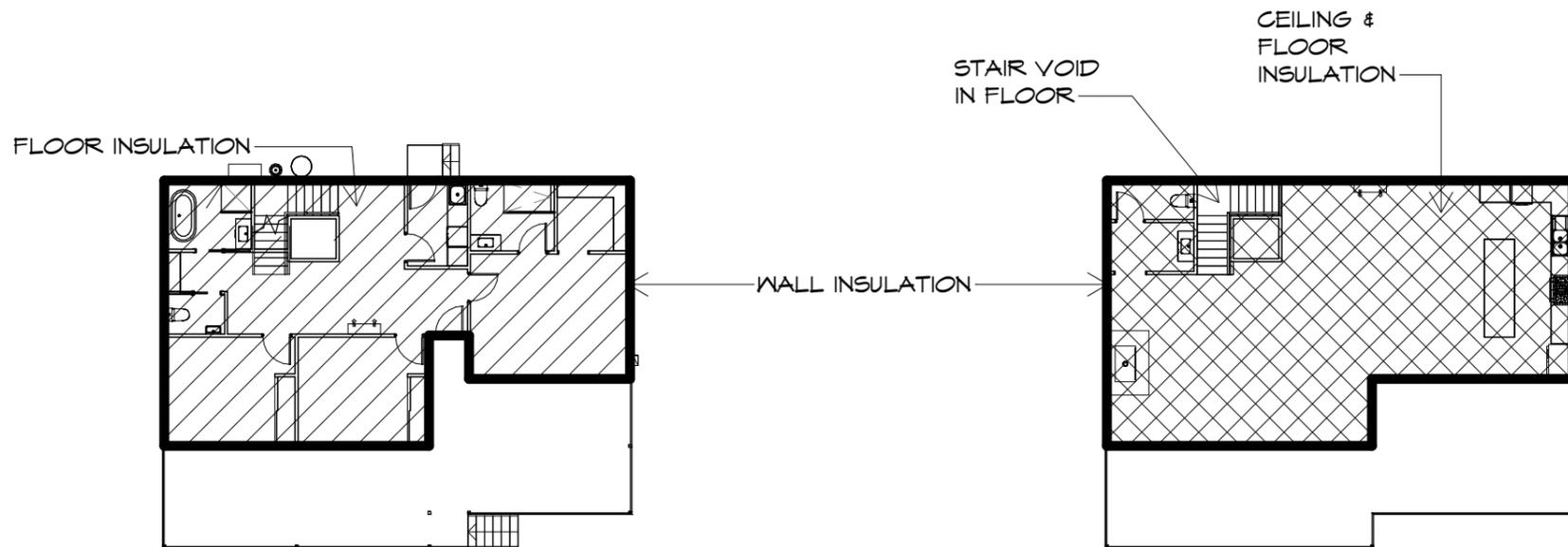
INSULATION SCHEDULE - TO COMPLY BAL 12.5

ELEMENT	TYPE
METAL ROOF	CLASS 4 - VAPOUR PERMEABLE SARKING (RBM R0.0036)
CEILING	R5.0 BATTS
WALLS	VAPOUR PERMEABLE MEMBRANE (RBM R0.45) + R2.5 BATTS = TOTAL R2.95 (R2.80 REQUIRED)
FLOOR ENCLOSED	R1.5 INSULATION (R1.5 REQUIRED)

ALL ENERGY EFFICIENCY MUST COMPLY WITH NCC 2019 PART 3.12.0

LEGEND

-  EXTENT OF INSULATION (REFER TO TABLE)
-  EXTENT OF CEILING & FLOOR INSULATION (REFER TO TABLE)
-  EXTENT OF FLOOR INSULATION (REFER TO TABLE)

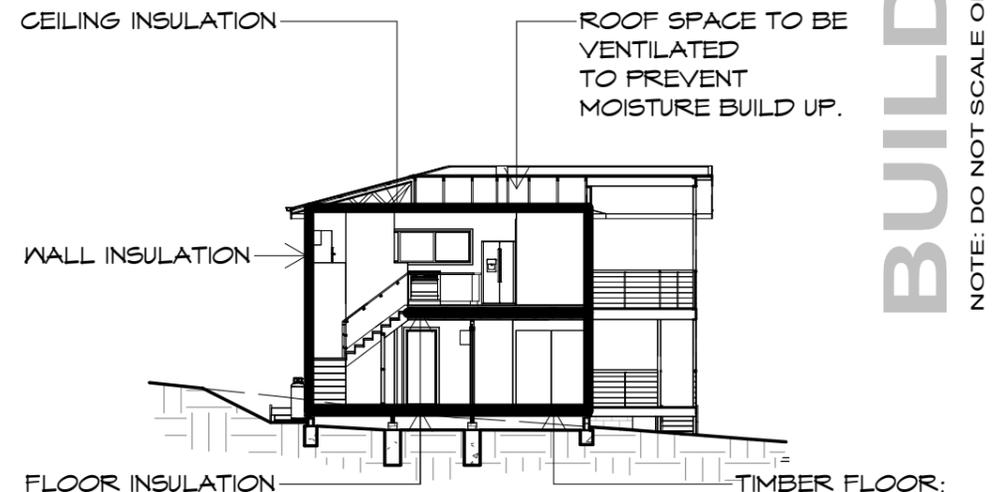


GROUND FLOOR INSULATION PLAN

1 : 200

FIRST FLOOR INSULATION PLAN

1 : 200



INSULATION SECTION

1 : 200

BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS



CHIMNEYS & FLUES

TO A.52918
MUST BE PROVIDED WITH A DAMPER OR FLAP IN ACCORDANCE WITH THE NCC 2019 PART 3.12.3.1

EXHAUST FANS

MUST BE FITTED WITH A SEALING DAMPER DEVICE IN ACCORDANCE WITH THE NCC 2019 PART 3.12.3.4

INSULATION NOTE:

ENSURE PLASTER CEILING & BATTEN CONSTRUCTION IS DESIGNED TO SUPPORT REQUIRED INSULATION

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.

ENERGY ASSESSMENT IS BASED ON WINDOW TYPES AS NOTED IN THE REPORT. IF A LESSER PERFORMANCE WINDOW IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.

NOTE: PROVIDE ROOF SPACE VENTILATION, TO REMOVE MOISTURE BUILD UP:

- EAVE VENTS;
- ROOF VENTILATOR (WIND DRIVEN OR POWERED)
- TO COMPLY BAL 12.5



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Drawing:
ENERGY EFFICIENCY

Date: **11.07.2024** Scale: **1 : 200**

Project/Drawing no: **PD23472 -19** Revision: **C**



Accredited building practitioner: Frank Geskus -No CC246A



BUILDING
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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drawing:
PERSPECTIVES

Drafted by: **I.L.C./M.R.** Approved by: **A.J.C.**

Date: **11.07.2024** Scale:

Project/Drawing no: **PD23472 -20** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



NCC 2022 H2D5
 ABCB HOUSING PROVISIONS PART 6.2. SUBFLOOR VENTILATION

FIGURE 6.2.1b
 SUBFLOOR CLEARANCE REQUIREMENTS

NOTE: (1) 400mm CLEARANCE REQUIRED ONLY WHERE TERMITE MANAGEMENT SYSTEMS ARE INSTALLED THAT NEED TO BE INSPECTED (SEE PART 3.1.4)
 (2) ON SLOPING SITES THE 400mm CLEARANCE REQUIRED BY (1) MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS IN ACCORDANCE WITH DIAGRAM b.

DIAGRAM b. SUB-FLOOR CLEARANCE REQUIREMENTS ON A SLOPING SITE

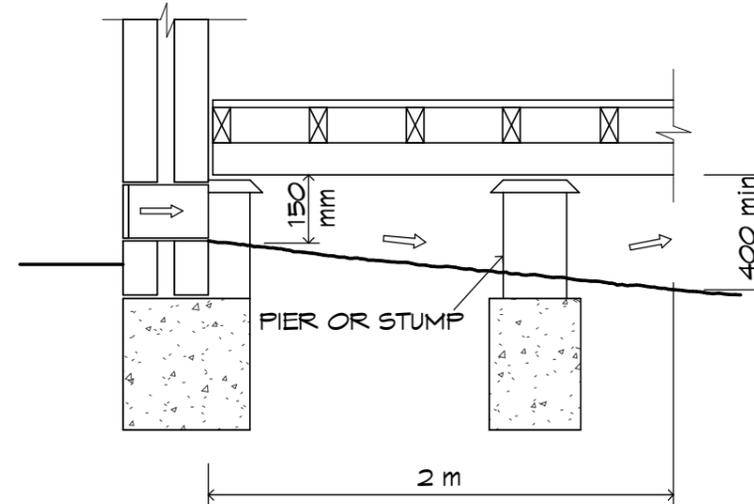
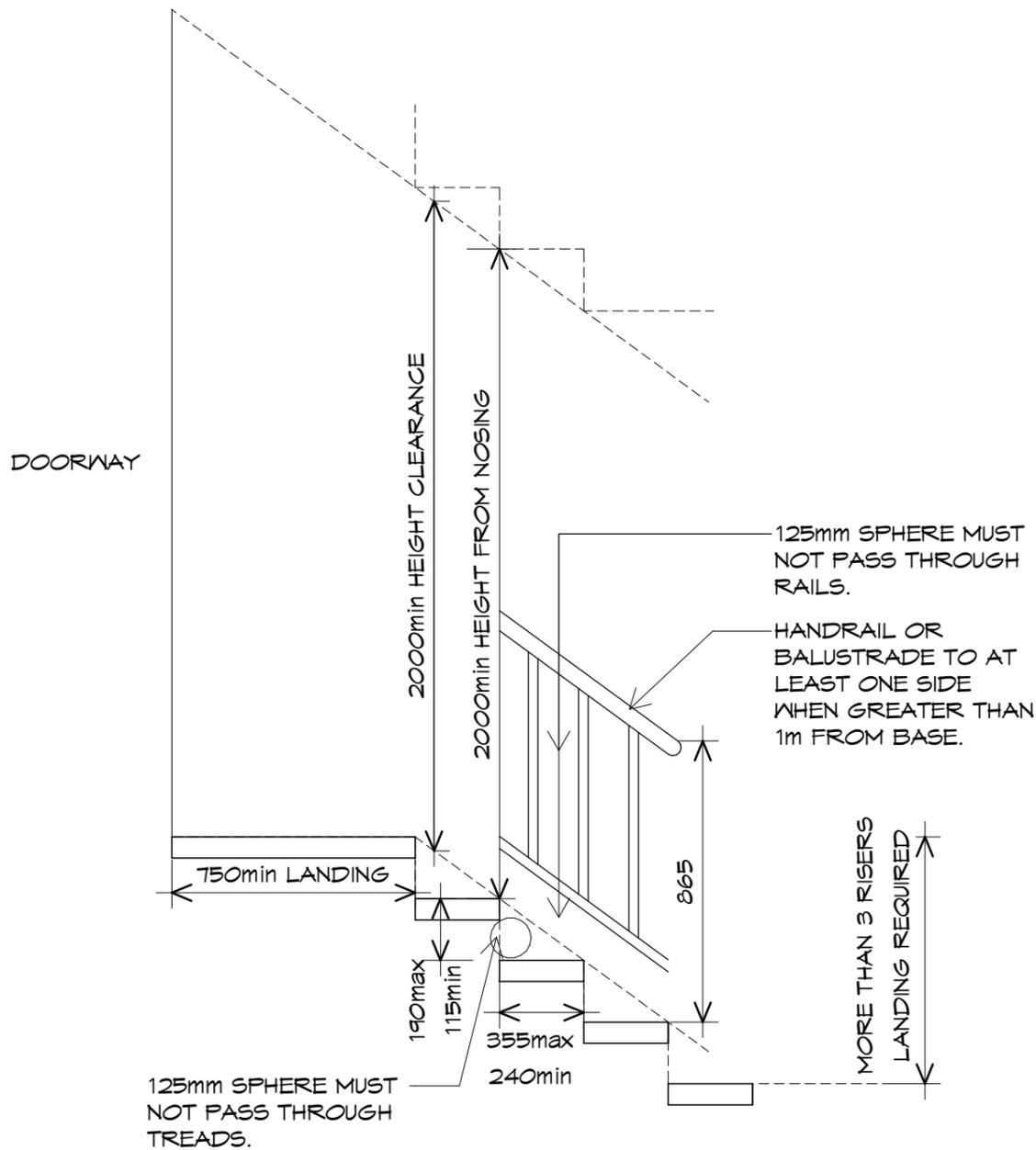
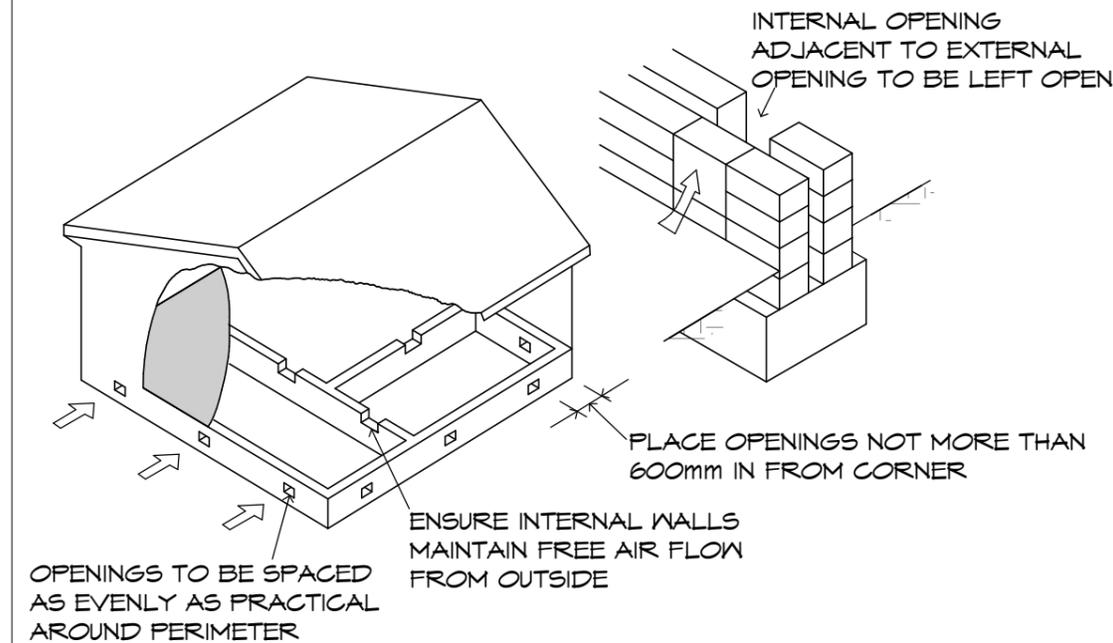


FIGURE 6.2.1d TYPICAL SUB-FLOOR VENTILATION DETAILS - TYPICAL CROSS VENTILATION OF SUBFLOOR AREA

DIAGRAM d. TYPICAL CROSS VENTILATION OF SUB-FLOOR AREA



- STAIR CONSTRUCTION** (REFER TO ABCB HOUSING PROVISIONS PART 11.2&11.3)
- EACH FLIGHT TO NOT BE MORE THAN 18 RISERS OR LESS THAN 2 RISERS.
 - A FLIGHT OF STAIRS TO NOT HAVE MORE THAN 3 WINDERS IN LIEU OF EACH QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING.
 - THE RISER OPENING MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS.
 - TREADS MUST HAVE A SLIP-RESISTANT FINISH
 - LANDINGS MUST BE NOT LESS THAN 750mm LONG AND GRADIENT NOT GREATER THAN 1:50 AND BE PROVIDED AT DOORWAYS WHERE A CHANGE IN LEVEL OR GREATER THAN 3 RISERS (OR MORE THAN 570mm).
 - CONTAINS A REQUIRED CEILING HEIGHT, MEASURED VERTICALLY FROM THE NOSING TO BE MINIMUM OF 2m.
 - HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

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DIAGRAMS AS PER ABCB HOUSING PROVISIONS PART 7.3.3, FIGURE 7.2.7a-7.2.7e ACCEPTABLE FLASHING DETAILS

FIGURE 7.2.7a: ANTI-CAPILLARY BREAKS

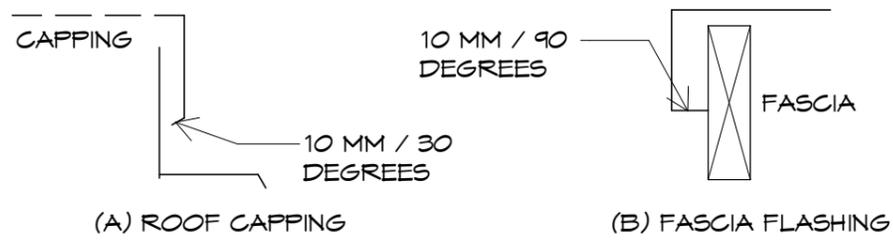


FIGURE 7.2.7b: PARAPET FLASHING ACCEPTABLE FLASHING DETAILS

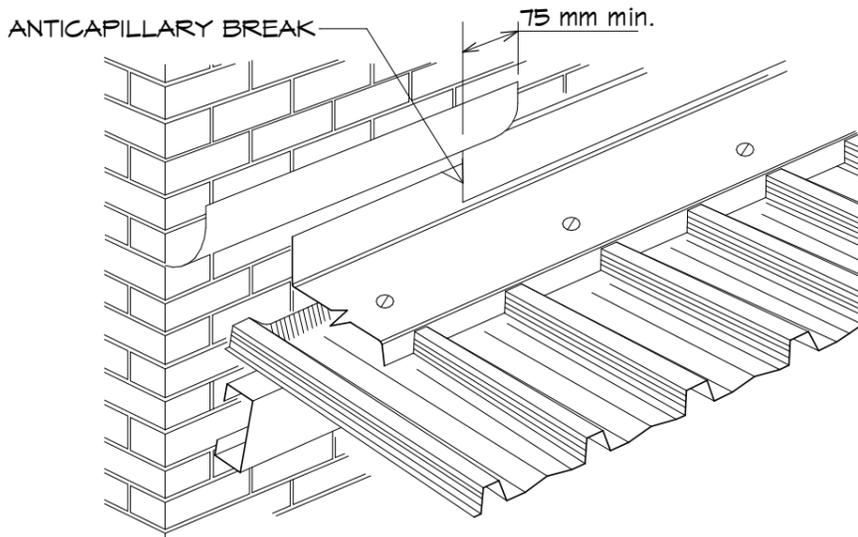


FIGURE 7.2.7c: PARAPET AND END WALL FLASHING ACCEPTABLE FLASHING DETAILS

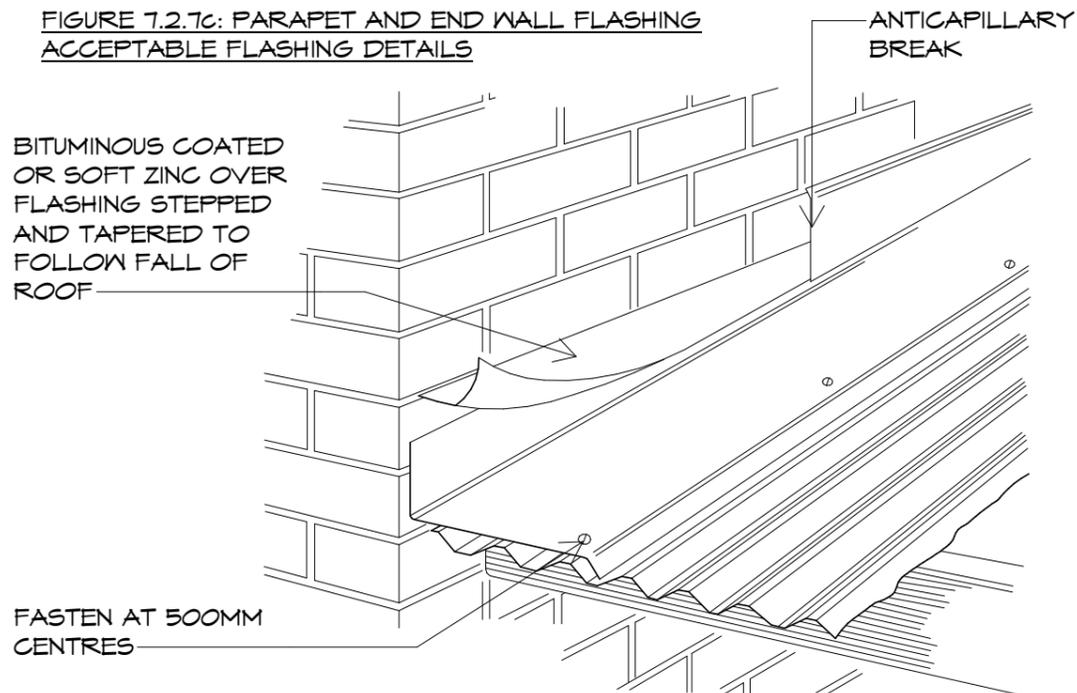


FIGURE 7.2.7d: PVC APRONS-TYPICAL ROOF PENETRATION FLASHING DETAILS

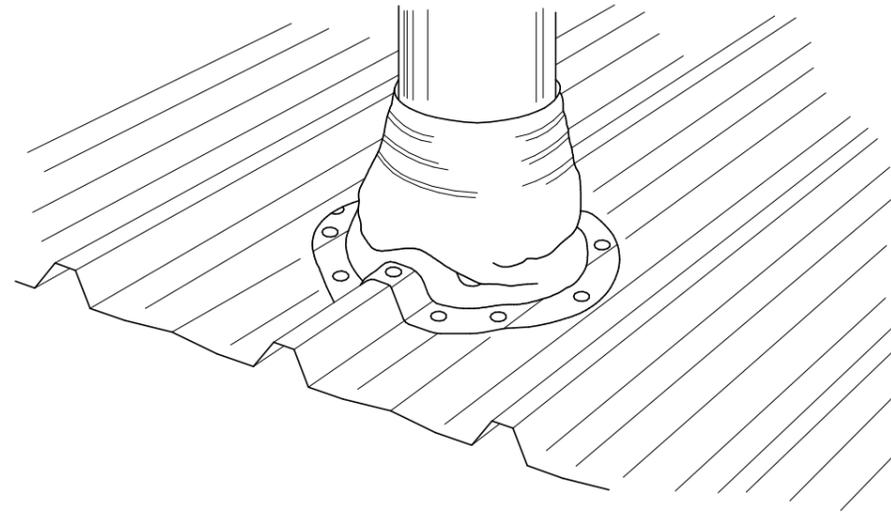
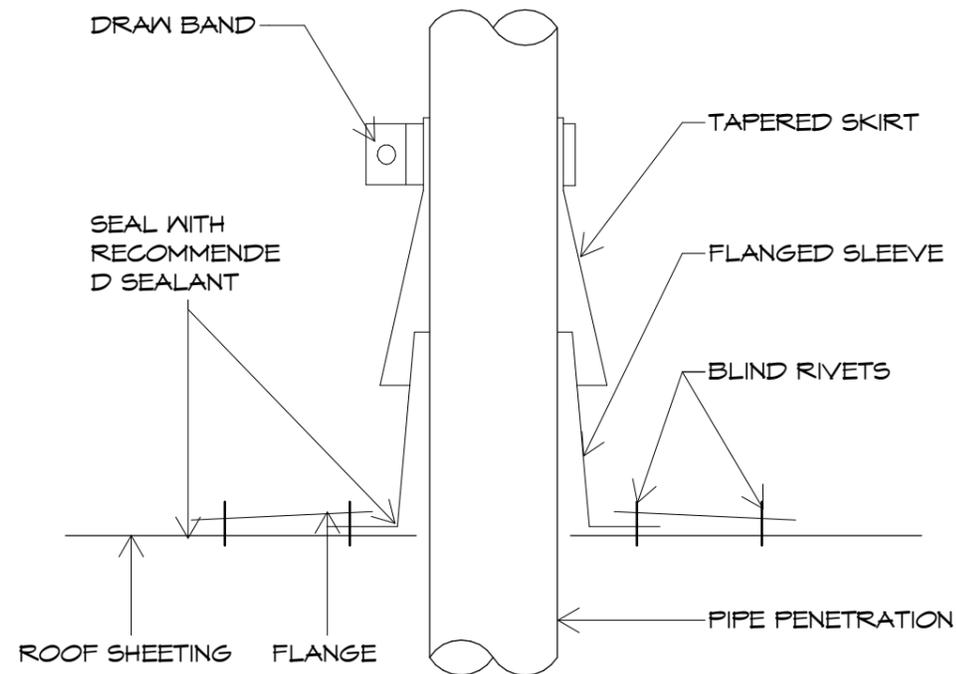


FIGURE 7.2.7e: COLLAR FLASHINGS TYPICAL ROOF PENETRATION FLASHING DETAILS



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SOIL CLASS (SEE PART 4.2.2 FOR MATERIAL DESCRIPTION)	SITE CUT (EXCAVATION) (MAXIMUM EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L NOTE 1)	COMPACTED FILL (MAXIMUM EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L NOTE 1)
STABLE ROCK (CLASS A)	8:1	3:3
SAND (CLASS A)	1:2	1:2
FIRM CLAY (CLASS M-E)	1:1	1:2
SOFT CLAY (CLASS M-E)	2:3	NOT SUITABLE

NOTES TO TABLE 3.2.1

- SEE FIGURE 3.2.1a & 3.2.1b FOR SOME EXAMPLES OF UN-RETAINED EMBANKMENT SLOPES.
- RETAINING WALLS MUST BE INSTALLED IN ACCORDANCE WITH H1D3(2) WHERE-
 - THE EMBANKMENT SLOPE IS STEEPER THAN DESCRIBED IN THIS TABLE; OR
 - THE SOIL TYPE IS NOT DESCRIBED IN THIS TABLE.

FIGURE 3.2.1A SITE CUT AND FILL USING UN-RETAINED EMBANKMENTS - SITE CUT COMMENCING AT THE ALLOTMENT BOUNDARY OR AFFECTING AN ADJOINING PROPERTY

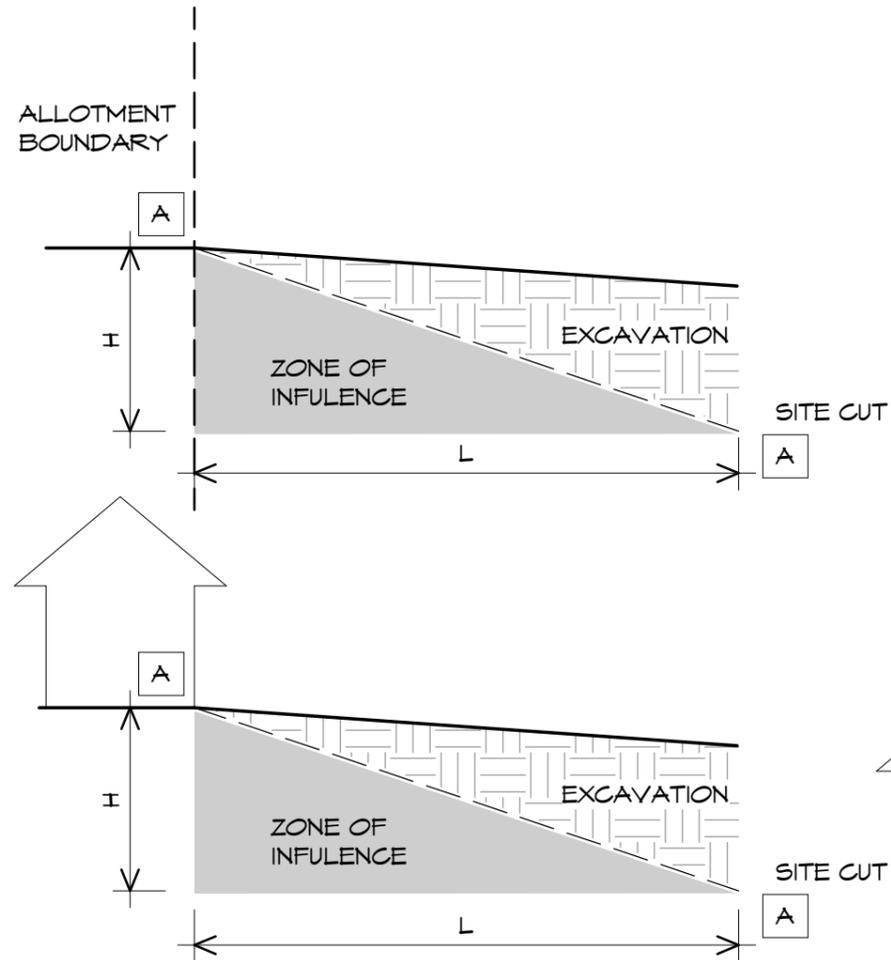


FIGURE 3.2.1B SITE CUT AND FILL USING UN-RETAINED EMBANKMENTS - FILL COMMENCING AT THE ALLOTMENT BOUNDARY OR AFFECTING AN ADJOINING PROPERTY

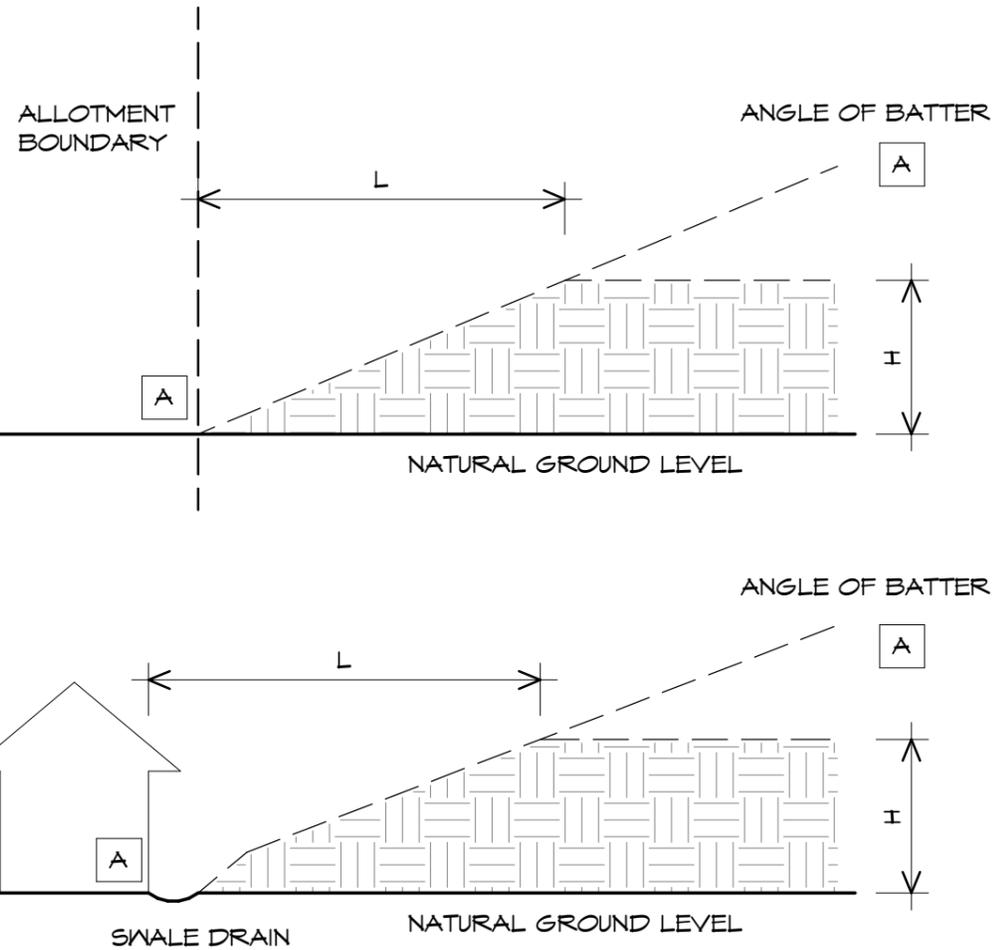
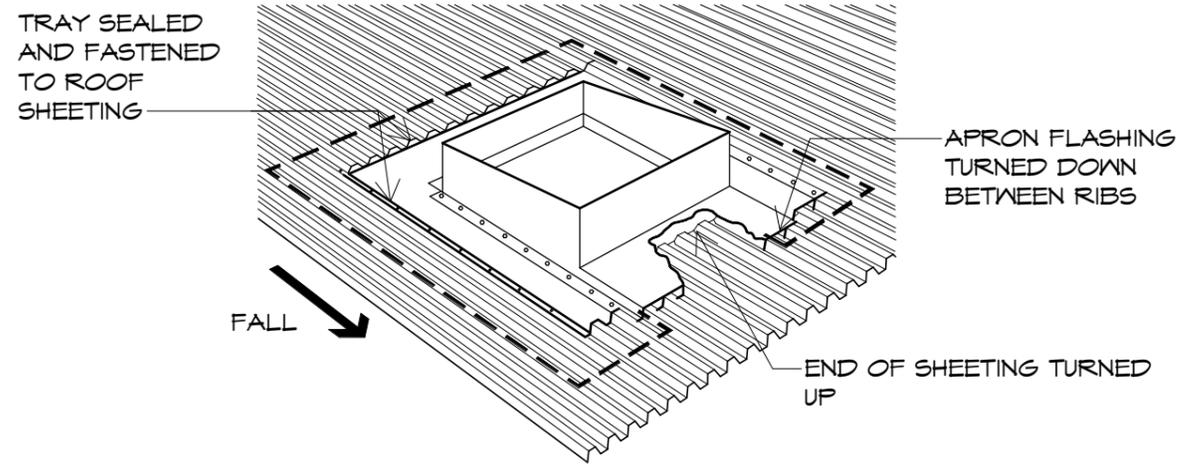


FIGURE 7.2.7F: LARGE PENETRATIONS USING APRON-TYPICAL ROOF PENETRATION FLASHING DETAILS



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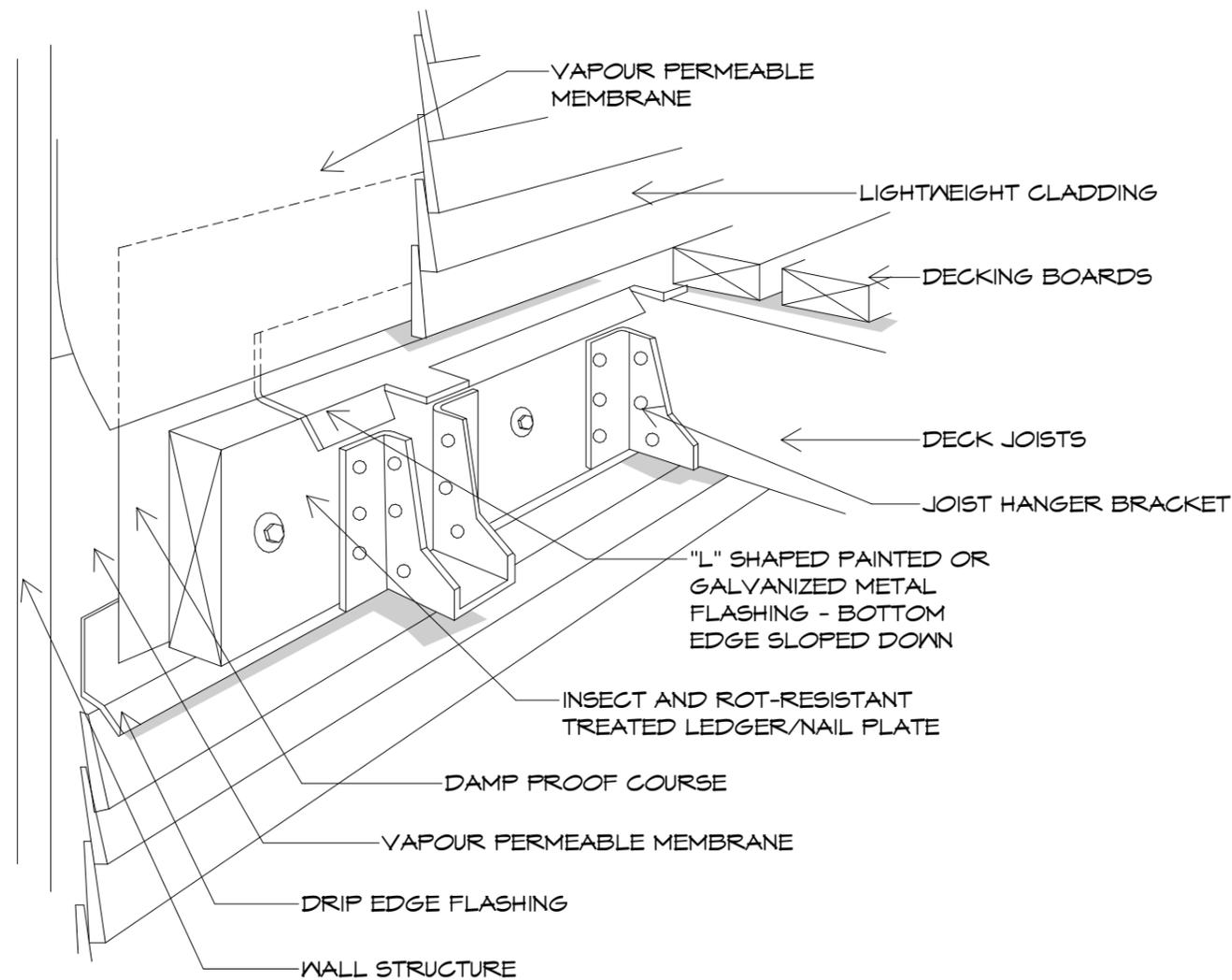
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FLASHING DIVERTING WATER FROM DECK LEDGER (OR NAIL PLATE) TO EXTERNAL WALL

BEST PRACTICE TECHNIQUE

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FIGURE 37: SUSPENDED TIMBER FLOOR WITH HORIZONTAL BATTENS

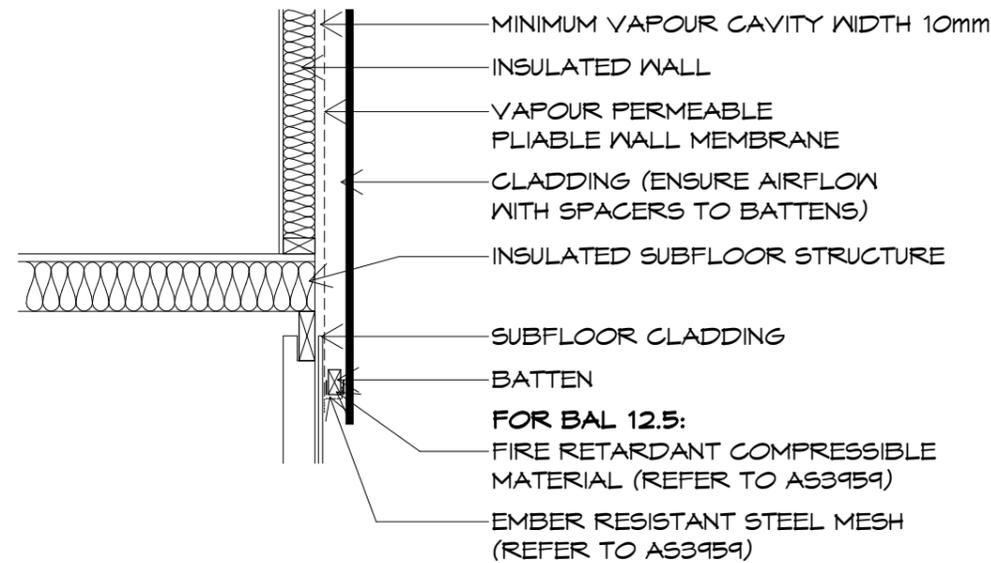
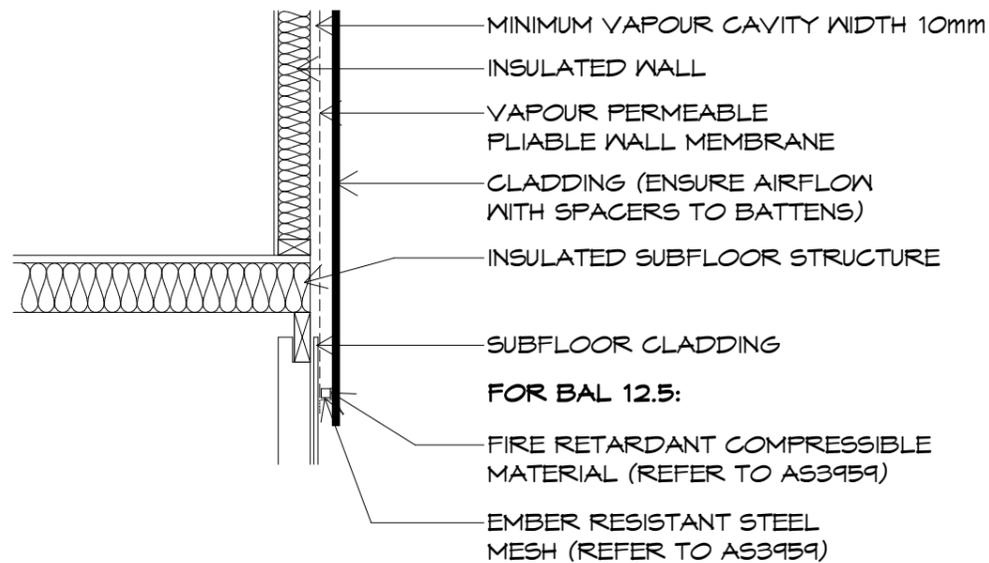
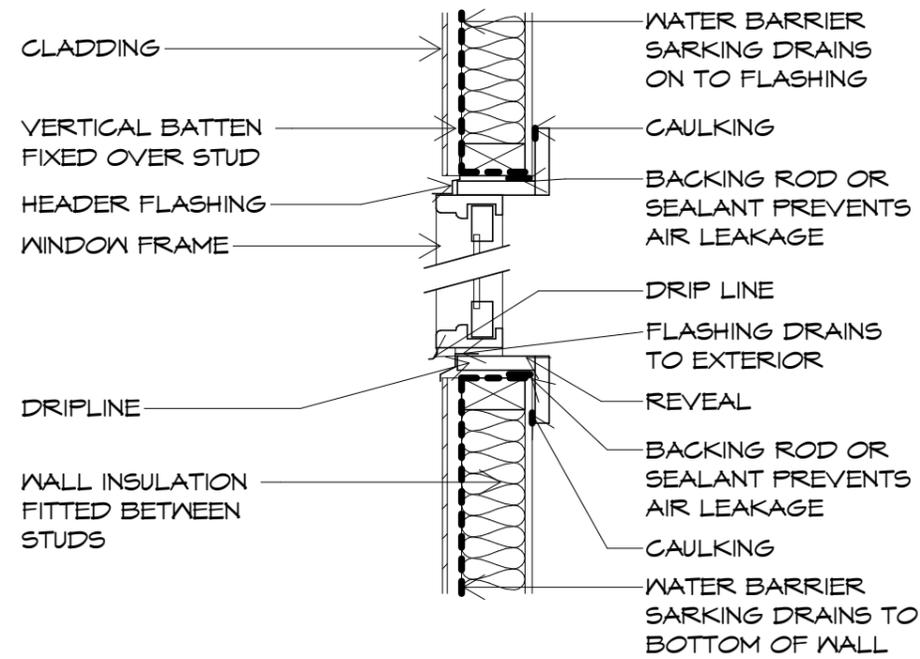


FIGURE 38: SUSPENDED TIMBER FLOOR WITH VERTICAL BATTENS



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WINDOW FLASHING DETAIL - LIGHTWEIGHT CLADDING



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FIGURE 21: TYPICAL CATHEDRAL ROOF

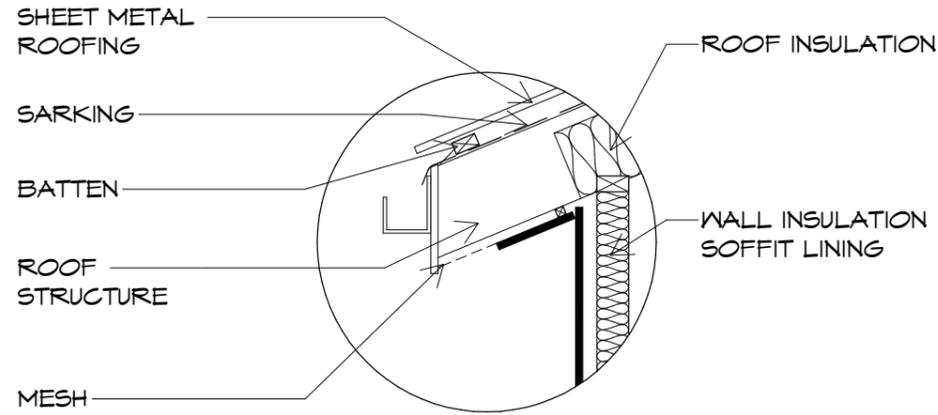


FIGURE 31: TYPICAL CATHEDRAL VENT

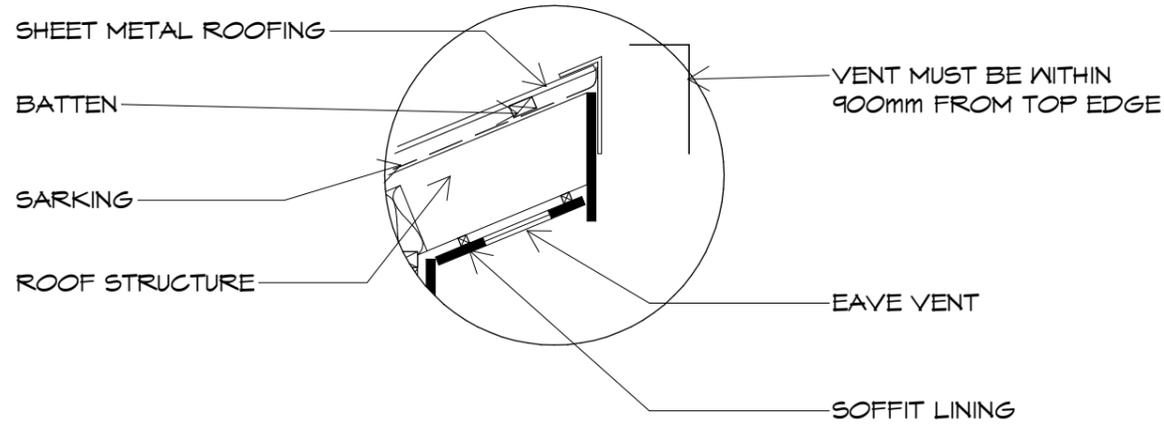


FIGURE 22: CATHEDRAL ROOF WITH BUSHFIRE CONSIDERATIONS SHOWN

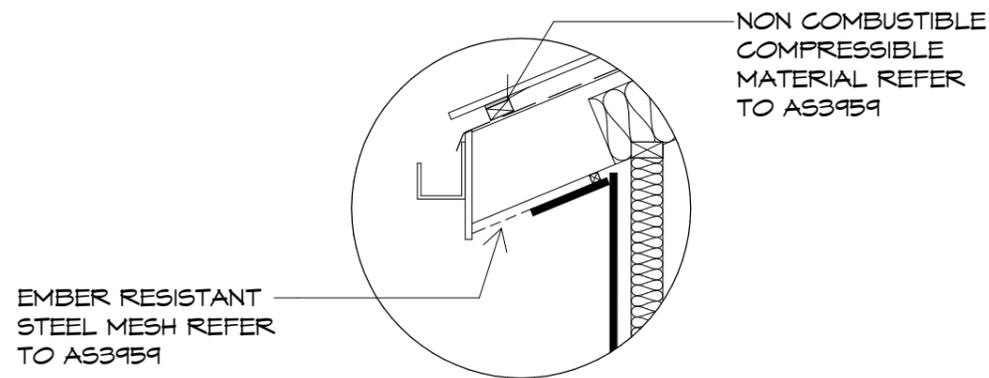
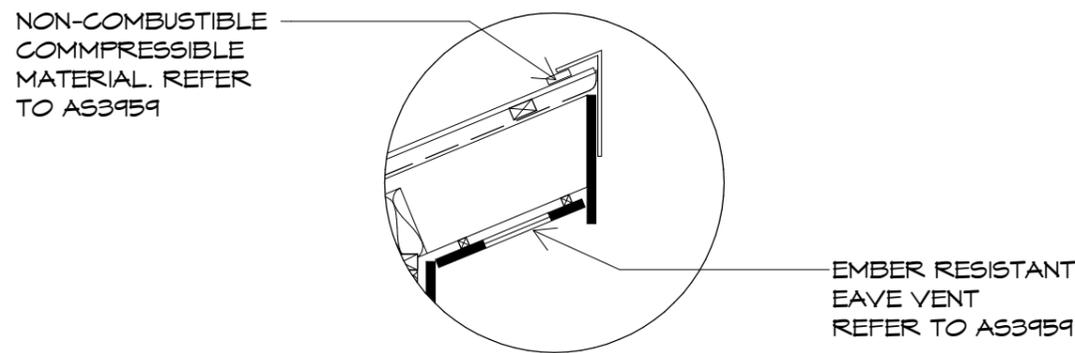


FIGURE 32: CATHEDRAL VENT WITH SOME BUSHFIRE CONSIDERATIONS SHOWN



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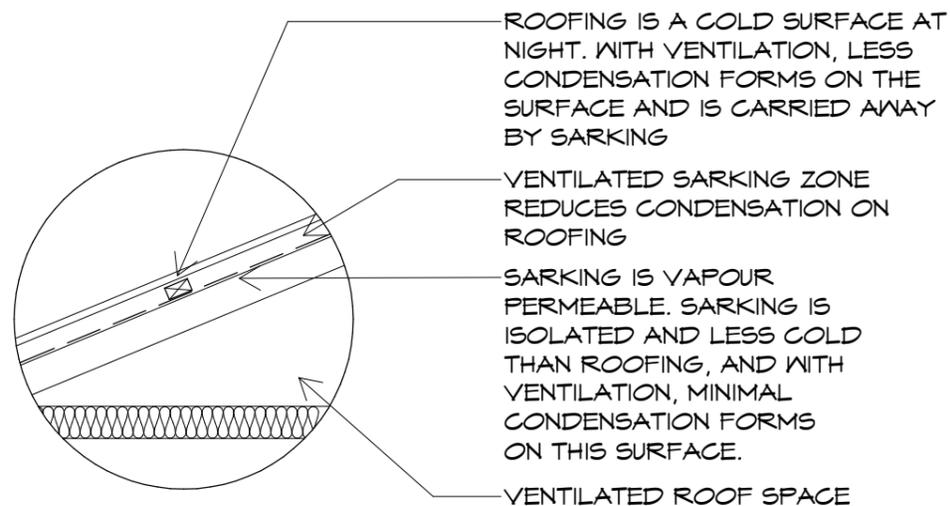
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FIGURE 11: SARKING UNDER BATTENS & VENTILATION

SARKING UNDER BATTENS AND VENTILATION

INSTALL SARKING UNDERNEATH BATTENS TO MINIMISE THERMAL BRIDGING. ENSURE VENTILATION IN BOTH SARKING ZONE AND ROOF SPACE. THESE STEPS COMBINED WILL MINIMISE CONDENSATION IN THE ROOF SPACE.



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FIGURE 19: TYPICAL EAVED ROOF

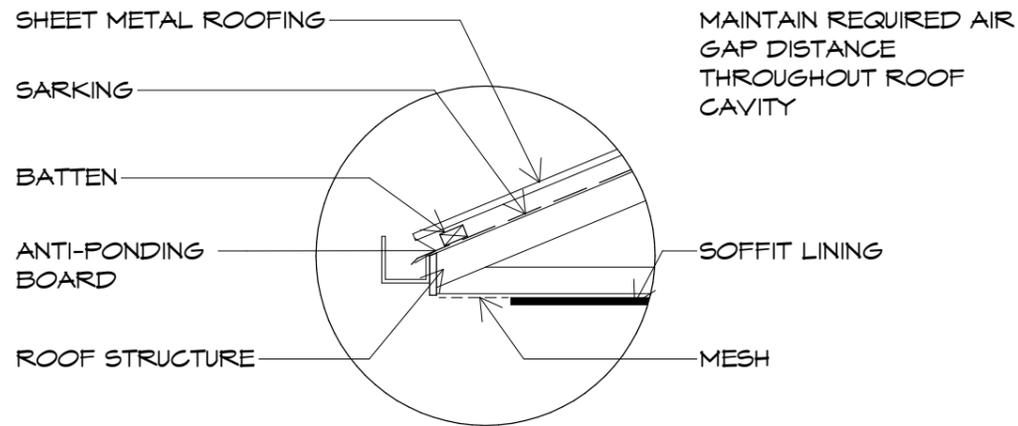


FIGURE 20: EAVED ROOF WITH BUSHFIRE CONSIDERATIONS SHOWN

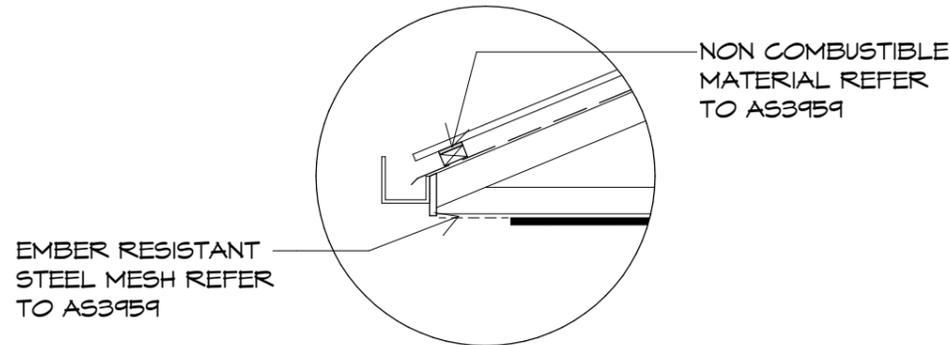


FIGURE 23: EAVED ROOF WITH EAVE VENT

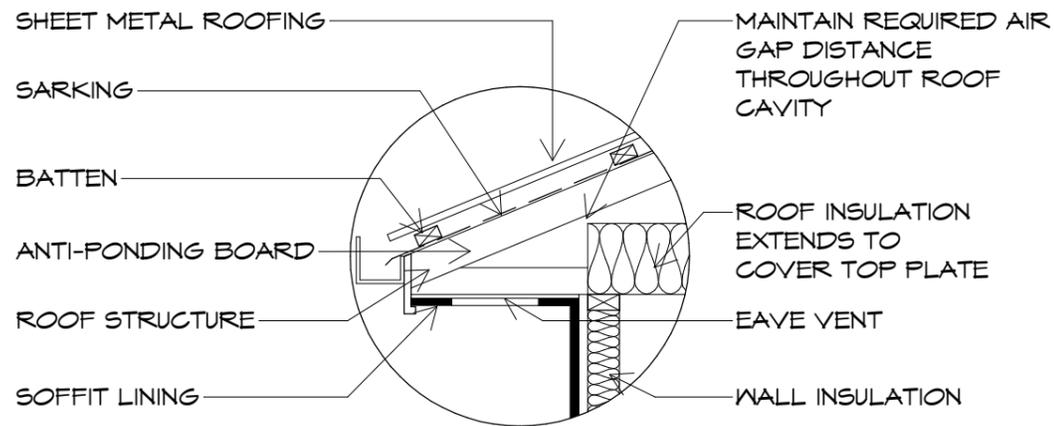


FIGURE 24: EAVED ROOF WITH EAVE VENT WITH BUSHFIRE CONSIDERATIONS SHOWN

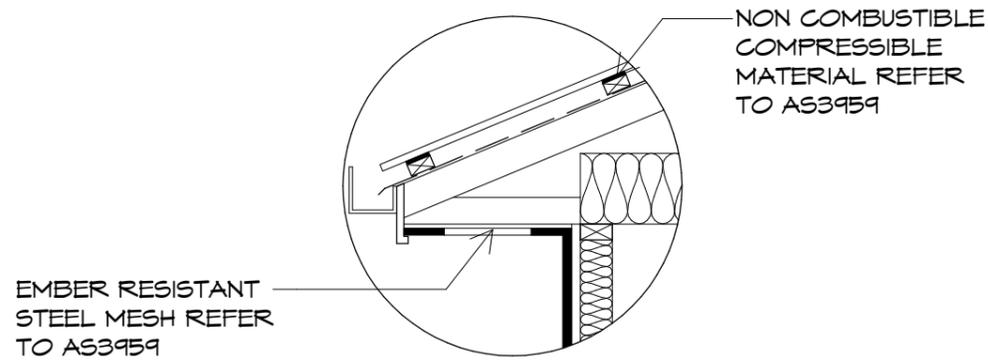


FIGURE 27: RIDGE CAP CONTINUOUS GAP

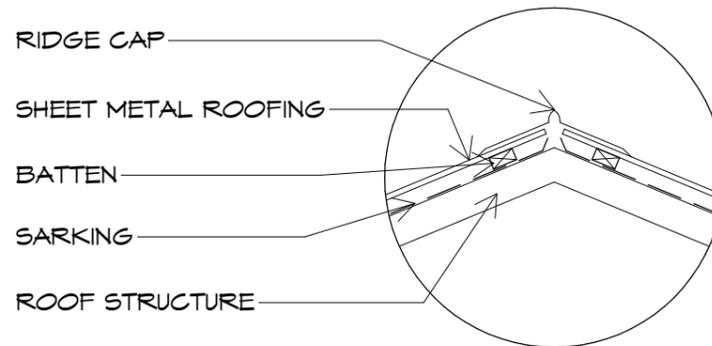
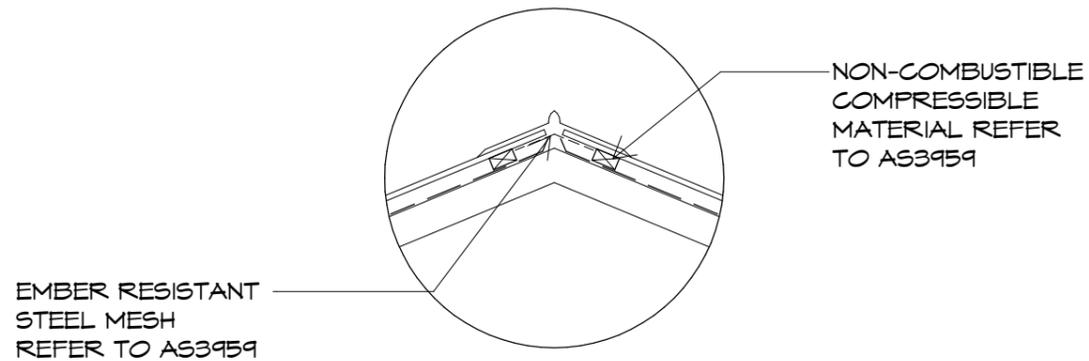


FIGURE 28: RIDGE CAP CONTINUOUS GAP WITH SOME BUSHFIRE CONSIDERATIONS SHOWN



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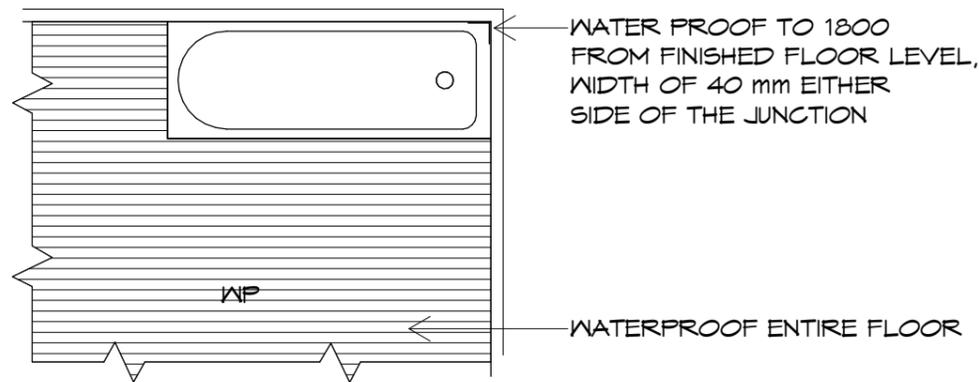
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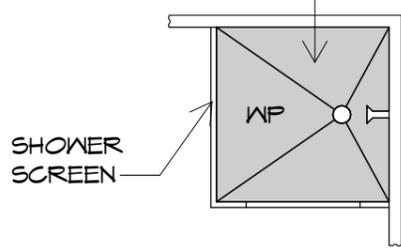
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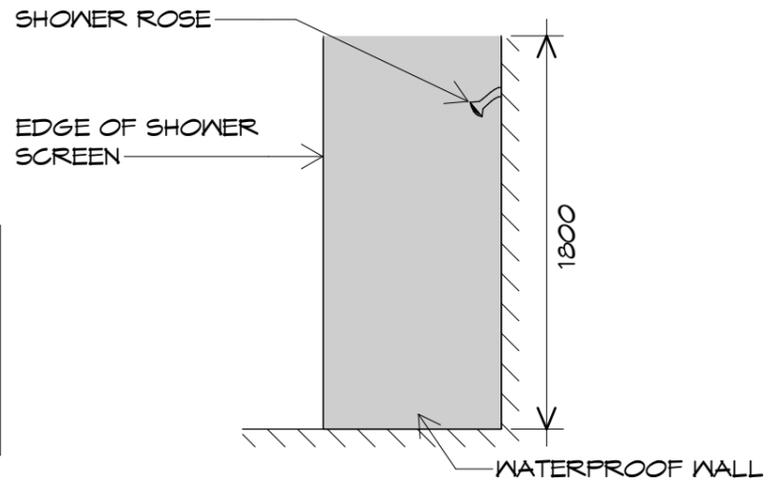


(a) PLAN VIEW

WATERPROOF WALL TO 1800 mm HIGH FROM FINISHED FLOOR LEVEL

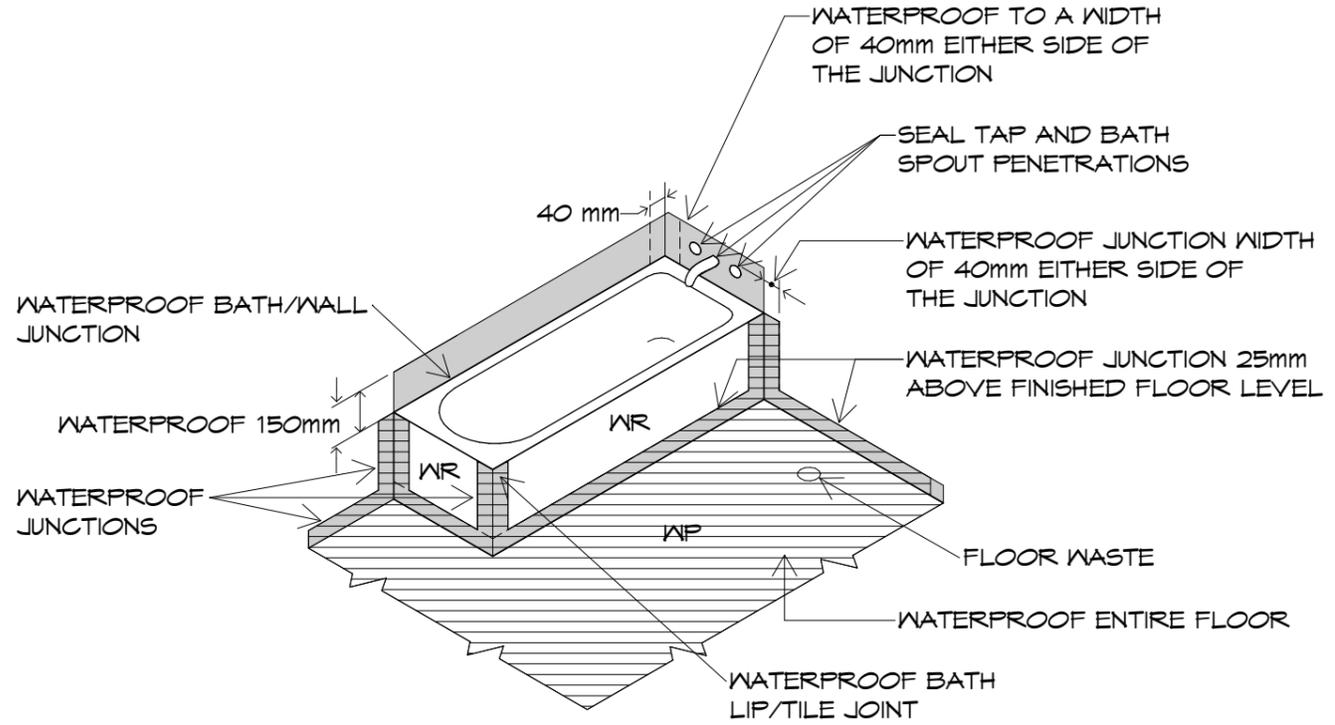


(i) PLAN VIEW



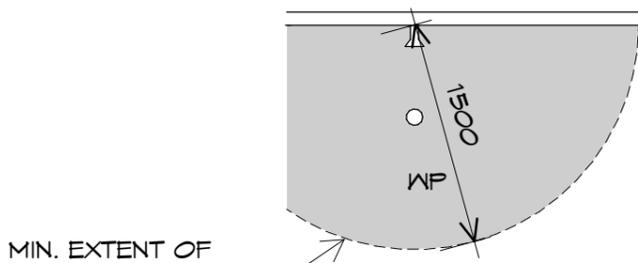
(ii) SIDE VIEW

(a) ENCLOSED SHOWER

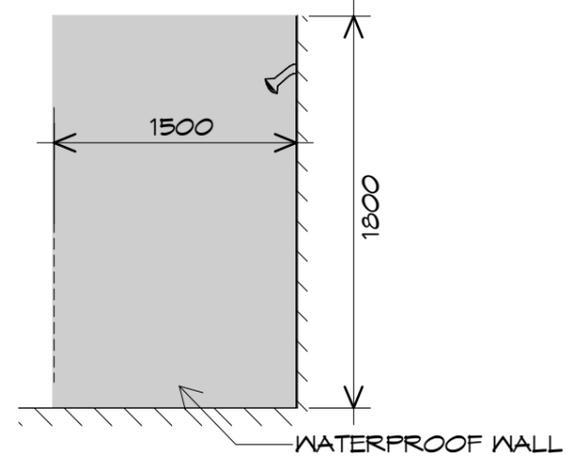


(b) ISOMETRIC VIEW

DIMENSIONS IN MILLIMETRES



(i) PLAN VIEW



(ii) SIDE VIEW

NOTE: ALL FLOOR WATERPROOFING TO TERMINATE AT A WATERSTOP.
(b) UNENCLOSED SHOWERS-CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORS

DIMENSIONS IN MILLIMETRES

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.2 EXTENT OF TREATMENT FOR SHOWER AREAS-CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORS



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Approved by:
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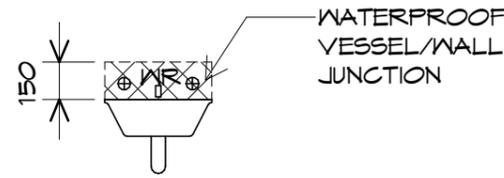
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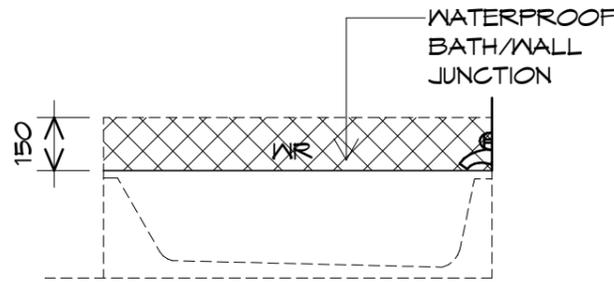
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ABCB - 2022: WET AREA WATERPROOFING
FIG 10.2.4a AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOOR MATERIALS

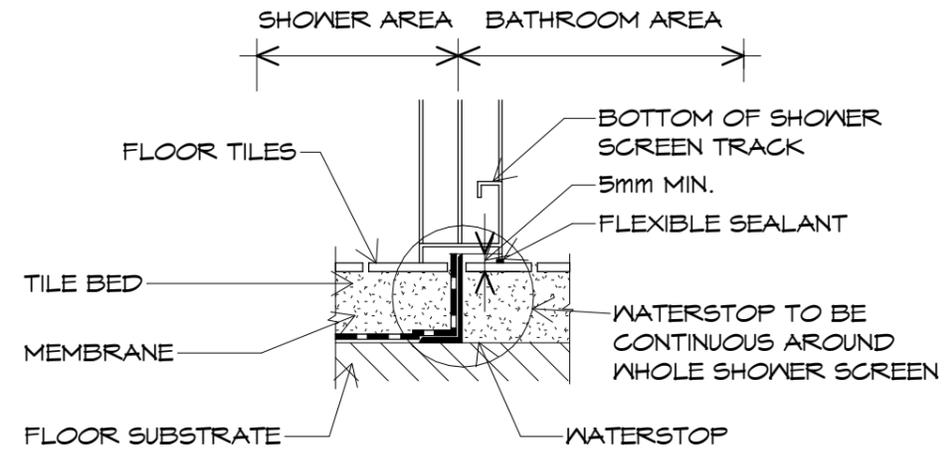


(a) VESSEL ABUTTING WALL

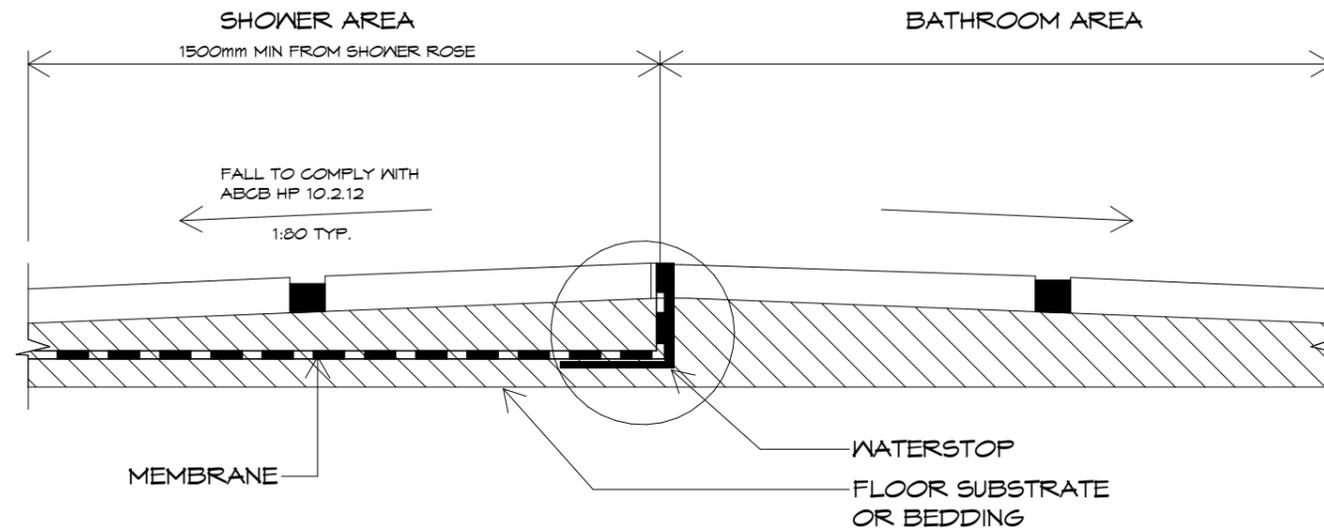


(b) WALL/BATH JUNCTIONS WITHOUT SHOWER

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIG 10.2.5 BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.17 TYPICAL HOBLESS CONSTRUCTION



ABCB HOUSING PROVISIONS PART 10.2 : WET AREA WATERPROOFING
FIGURE 10.2.18 TYPICAL TERMINATION OF MEMBRANE
AT EXTENT OF SHOWER AREA

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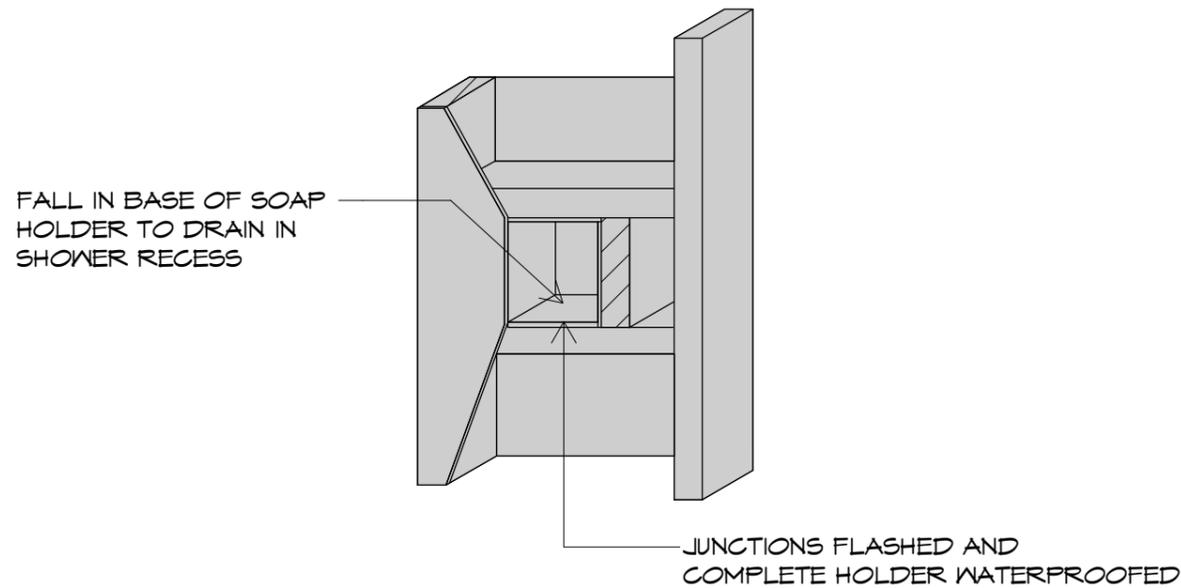
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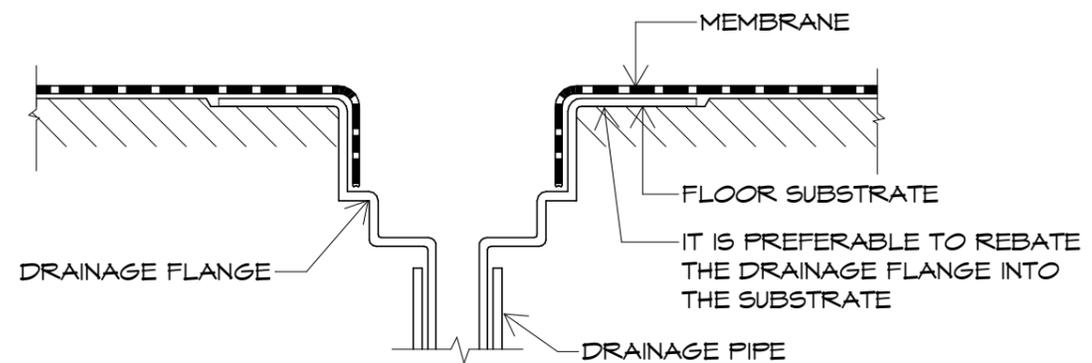
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ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF DOMESTIC WET AREAS
CLAUSE 10.2.23 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS



ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.29 TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



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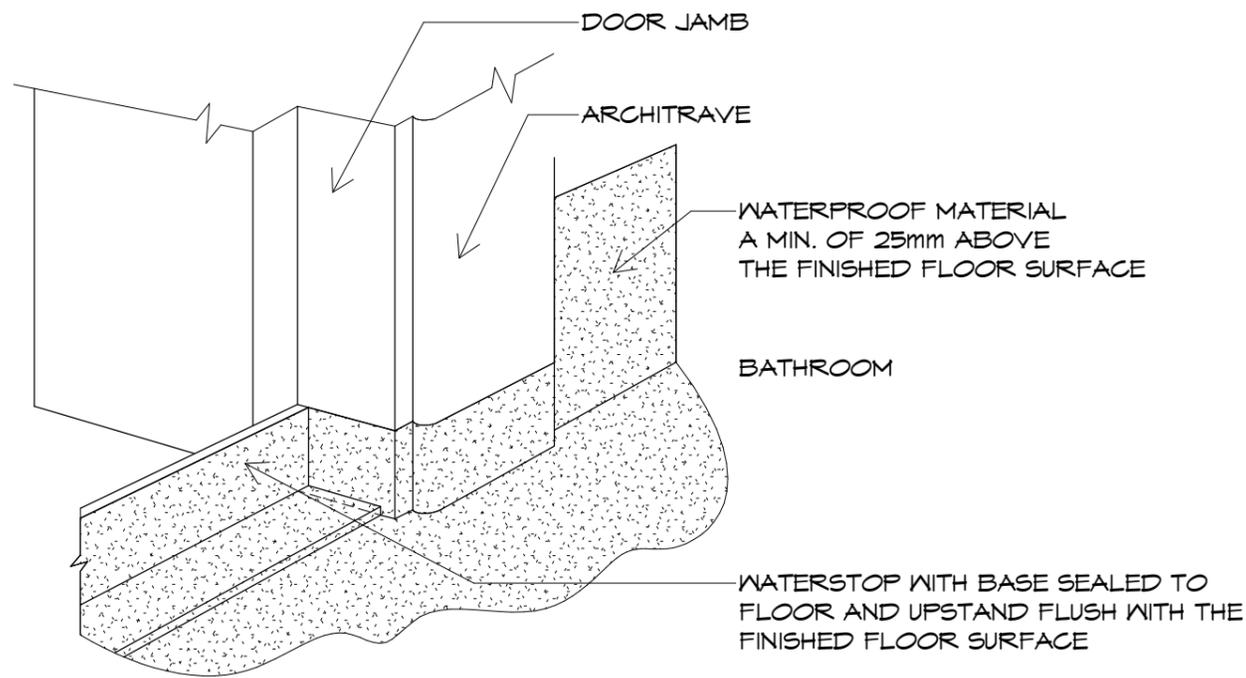


Drawing:
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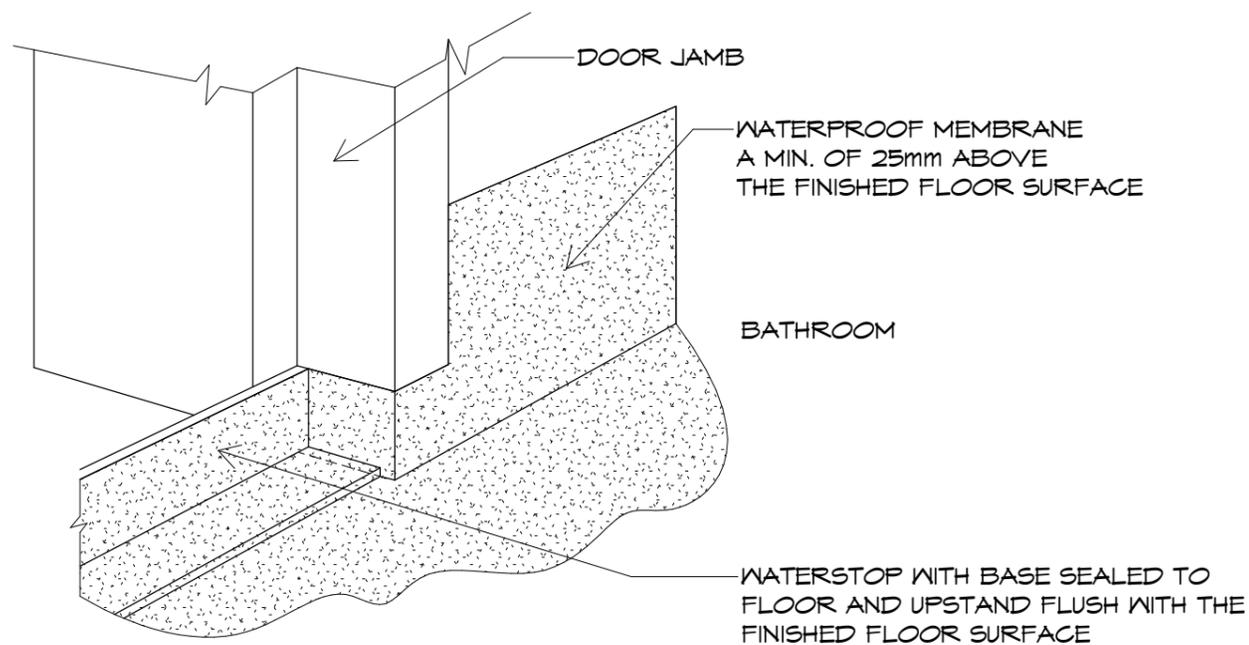
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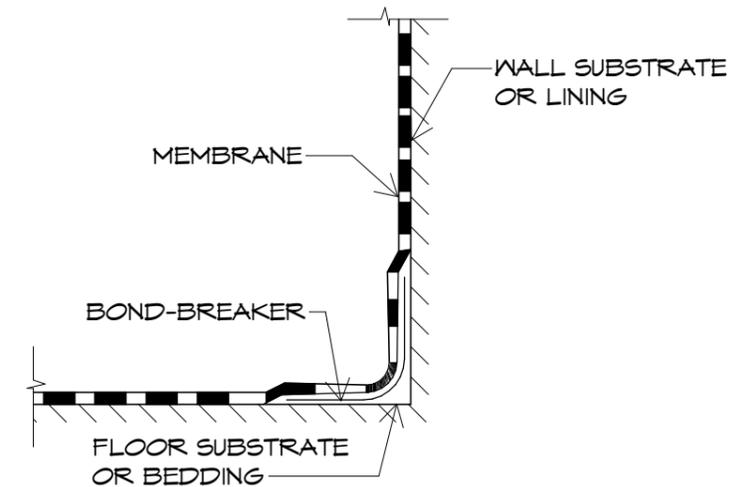
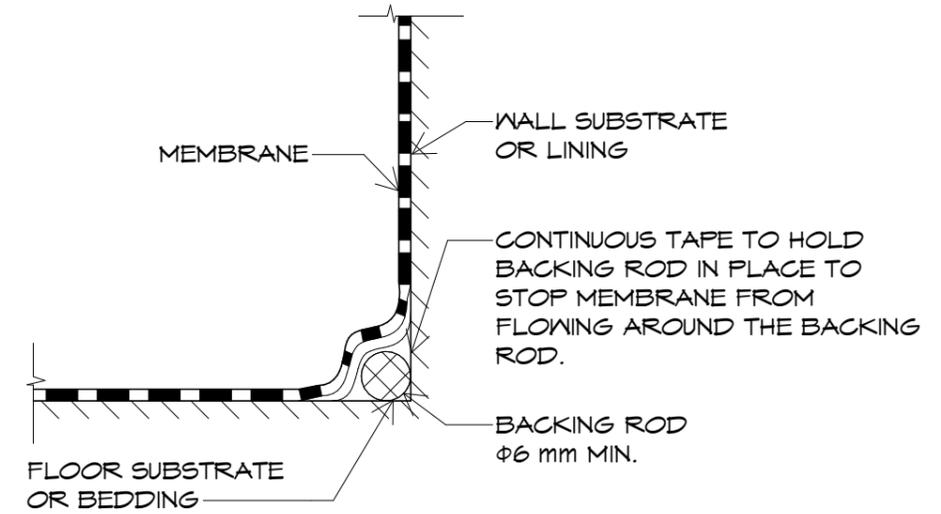


(A) AFTER INSTALLATION OF ARCHITRAVE



(B) PRIOR TO INSTALLATION OF ARCHITRAVE

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.24 TYPICAL BATHROOM DOOR DETAIL FOR WHOLE
BATHROOM WATERPROOFING



ABCB HOUSING PROVISIONS PART 10.2 : WATERPROOFING OF WET AREAS
FIGURE 10.2.27 (EXPLANATORY) TYPICAL BOND BREAKER DETAILS

FIGURE NOTES:

1. BOND BREAKERS FOR CLASS I MEMBRANES (LOW EXTENSIBILITY) ALLOW THE MEMBRANE TO FLEX RATHER THAN STRETCH.
2. BOND BREAKERS FOR CLASS II MEMBRANES (MEDIUM EXTENSIBILITY) ALLOW THE MEMBRANE TO STRETCH. IF A TAPE IS USED AS A BOND BREAKER, EITHER THE MEMBRANE MUST NOT BOND TO THE TAPE OR THE TAPE MUST HAVE ELASTIC PROPERTIES SIMILAR TO THE MEMBRANE.
3. BOND BREAKERS FOR CLASS III MEMBRANES (HIGH EXTENSIBILITY) ALLOW THE MEMBRANE TO HAVE AN EVEN THICKNESS



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Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

Client name:
R.A. & D.J. LEACH

Drafted by:
M.R.

Approved by:
A.J.C.

Drawing:
WATERPROOFING NOTES

Date: 11.07.2024
Scale: 1 : 20

Project/Drawing no: PD23472 -BD11
Revision: C

Accredited building practitioner: Frank Geskus -No CC246A



Subject to CONDITIONS. Refer to the
CERTIFICATE OF LIKELY COMPLIANCE for details

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



SECTION 5 CONSTRUCTION REQUIREMENTS FOR BAL-12.5

5.1 GENERAL

A building assessed in Section 2 as being BAL-12.5 shall comply with Section 3 and Clauses 5.2 to 5.8.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL-12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kw/m² where the site is less than 100 m from the source of bushfire attack.

5.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support where the sub floor space is enclosed with –

- (a) A wall that conforms with Clause 5.4; or
- (b) A mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium; or
- (c) A combination of Items (a) and (b).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7)

5.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

5.3 FLOORS

5.3.1 General

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors

5.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring where the subfloor space is enclosed with –

- (a) a wall that conforms with Clause 5.4; or
- (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- (c) a combination of Items (a) and (b) above.

5.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

(a) Materials that conform with the following:

- (i) Bearers and joists shall be –
 - (A) non-combustible; or
 - (B) bushfire-resisting timber (see Appendix F); or
 - (C) a combination of Items (A) and (B).
- (ii) Flooring shall be –
 - (A) non-combustible; or
 - (B) bushfire-resisting timber (see Appendix F); or
 - (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
 - (D) a combination of any Items (A), (B) or (C).

or

(b) A system conforming with AS 1530.8.1.

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

5.4 WALLS

5.4.1 General

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be one of the following:

(a) Non-combustible material including the following provided the minimum thickness is 90 mm:

- (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
- (ii) Precast or in situ walls of concrete or aerated concrete.
- (iii) Earth wall including mud brick; or

(b) Timber logs of a species with a density of 680 kg/m³ or greater at a 12% moisture content; of a minimal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed; or

(c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is –

- (i) non-combustible material; or
- (ii) fibre-cement a minimum of 6 mm in thickness; or
- (iii) bushfire-resisting timber (see Appendix F); or
- (iv) a timber species as specified in Paragraph E1, Appendix E; or
- (v) a combination of any Items (i), (ii), (iii) or (iv) above; or

(d) A combination of any Items (a), (b), or (c).

This Standard does not provide construction requirements for the exposed components of an external wall that are more than 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).



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SECTION 5
OCTOBER 2020

CONTINUED

Project:
PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT

Drawing:
BUSHFIRE NOTES

Client name:
R.A. & D.J. LEACH

Date: 11.07.2024
Scale: 1 : 1

Drafted by:
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Approved by:
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Project/Drawing no: PD23472 -BD12
Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING
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SECTION 5 CONSTRUCTION REQUIREMENTS FOR BAL-12.5

5.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

5.4.3 Vents and weepholes

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

5.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND DOORS

5.5.1 Bushfire shutters

Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from -

- (a) non-combustible material; or
- (b) a timber species as specified in Paragraph E1, Appendix E; or
- (c) bushfire-resisting timber (see Appendix F); or
- (d) a combination of any of items (a), (b), or (c).

5.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from -

- (a) metal; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E2, Appendix E.

5.5.3 Windows

Window assemblies shall:

- (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or
- (b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2.

C5.5.3 For Clause 5.5.3(b), the screening needs to be applied to cover the entire assembly, that is including framing, glazing, sash, sill and hardware.

or

(c) conform with the following:

(i) *Frame material* For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from one of the following:

- (A) Bushfire-resisting timber (see Appendix F); or
- (B) A timber species as specified in Paragraph E2, Appendix E; or
- (C) Metal; or
- (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

There are no specific restrictions on frame material for all other windows.

(ii) *Hardware* There are no specific restrictions on hardware for windows.

(iii) *Glazing* Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum 4 mm in thickness or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

or

(iv) *Seals and weather strips* There are no specific requirements for seals and weather strips at this BAL level.

(v) *Screens* The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

C5.5.3 For Clause 5.5.3 (c), screening to openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open.

For Clause 5.5.3 (c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on annealed glass and has to be externally fixed.

For Clause 5.5.3 (c)(v), if the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.4 Doors - Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall -

(a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 5.5.1;

or

(b) be completely protected externally by screens that comply with Clause 3.6 and Clause 5.5.2;

(c) conform with the following:

(i) *Door panel material* Materials shall be-

- (A) non-combustible; or
- (B) solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
- (C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or
- (D) hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or
- (E) for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.



SECTION 5 CONTINUED
OCTOBER 2020



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Drawing:
BUSHFIRE NOTES

Date: 11.07.2024 Scale: 1 : 1

Project/Drawing no: PD23472 -BD13 Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

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SECTION 5 CONSTRUCTION REQUIREMENTS FOR BAL-12.5

- (ii) *Door frame material* Door frame materials shall be –
(A) bushfire resisting timber (see Appendix F); or
(B) a timber species as specified in Paragraph E2 of Appendix E; or
(C) metal; or
(D) metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
- (iii) *Hardware* There are no specific requirements for hardware at this BAL level.
- (iv) *Glazing* the glazing shall be Grade A safety glass a minimum of 4 mm in thickness, or glass blocks with no restriction on glazing methods.
NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.
- (v) *Seals and weather strips* Weather strips, draught excluders or draught seals shall be installed.
- (vi) *Screens* There are no requirements to screen the openable part of the door at this BAL level.
- (vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

5.5.5 Doors – Sliding Doors

Sliding doors shall –

- (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1;
or
(b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
(c) conform with the following:

- (i) *Frame material* The material for door frames, including fully framed glazed doors, shall be –
(A) bushfire-resisting timber (see Appendix F); or
(B) a timber species as specified in Paragraph E2, Appendix E; or
(C) metal; or
(D) metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
- (ii) *Hardware* There are no specific requirements for hardware at this BAL level.
- (iii) *Glazing* Where doors incorporate glazing, the glazing shall be Grade A safety glass a minimum of 4 mm in thickness.
- (iv) *Seals and weather strips* There are no specific requirements for seals and weather strips at this BAL level.
- (v) *Screens* There is no requirement to screen the openable part of the sliding door at this BAL level.
- (vi) *Sliding panels* Sliding panels shall be tight-fitting in the frames.

5.5.6 Doors – Vehicle access doors (garage doors)

The following applies to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from –
(i) non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) fibre-cement sheet, a minimum of 6 mm in thickness; or

- (iv) a timber species as specified in Paragraph E1, Appendix E; or
(v) a combination of any of Items (i), (ii), (iii) or (iv).
- (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

NOTES:

- 1 Refer to AS/NZS 4505 for door types.
2 Gaps of door edges or building elements should be protected as per Section 3.

C5.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

- (c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

5.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)

5.6.1 General

The following applies to all types of roofs and roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
(b) The roof/wall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.6.
(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.

5.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall –

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
(b) cover the entire roof area including the ridges and hips; and
(c) extend to the gutters and valleys.

5.6.3 Sheet roofs

Sheet roofs shall –

- (a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or
(b) have any gaps sealed at the fascia or wall line, hips and ridges by –
(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
(ii) mineral wool; or
(iii) other non-combustible material; or
(iv) a combination of any of Items (i), (ii) or (iii).



SECTION 5

OCTOBER 2020

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Drawing:
BUSHFIRE NOTES

Date: 11.07.2024 Scale: 1 : 1

Project/Drawing no: PD23472 -BD14 Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

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SECTION 5 CONSTRUCTION REQUIREMENTS FOR BAL-12.5

C5.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

5.6.4 Veranda, carport and awning roof

The following applies to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1 (a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.
 - (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figure D1(b) and D1(c), Appendix D] conforming with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.
- NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

The following applies to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, or the like, shall be sealed. The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to a room sealed gas appliance.

NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.

- (c) All overhead glazing shall be Grade A safety glass conforming with AS 1288.
- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.
- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five.
- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (g) Vent pipes made from PVC are permitted.
- (h) Eaves lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 Eaves linings, fascias and gables

The following applies to eaves linings, fascias and gables:

- (a) Gables shall comply with Clause 5.4
- (b) Eaves penetrations shall be protected in the same way as roof penetrations, as specified in Clause 5.6.5.
- (c) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds. This Standard does not provide construction requirements for fascias, bargeboards and eaves linings

5.6.7 Gutters and downpipes

This Standard does not provide material requirements for-

- (a) gutters, with the exception of box gutters; and
- (b) downpipes

If installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

5.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

5.7.1 General

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C5.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 mm – 5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground.

Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall conform with Clause 5.4.



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SECTION 5 CONTINUED
OCTOBER 2020

Drawing:
BUSHFIRE NOTES

Date: 11.07.2024 Scale: 1 : 1

Project/Drawing no: PD23472 -BD15 Revision: C



Accredited building practitioner: Frank Geskus -No CC246A

BUILDING
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SECTION 5 CONSTRUCTION REQUIREMENTS FOR BAL-12.5

5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e., bearers and joists).

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from-

- (a) non-combustible material; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E;
- (d) uPVC; or
- (e) a combination of any of items (a), (b), (c) or (d).

5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from-

- (a) non-combustible material; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E; or
- (d) a combination of any of items (a), (b) or (c) above.

5.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 Veranda posts

Veranda posts -

- (a) shall be timber mounted on galvanized mounted shoes or stirrups with a clearance of not less than 75 mm above the adjacent finished ground level; or
- (b) less than 400 mm (measured vertically) from the surface of the deck or ground (see Figure D2, Appendix D) shall be made from-
 - (i) non-combustible material; or
 - (ii) bushfire-resisting timber (see Appendix F); or
 - (iii) a timber species as specified in Paragraph E1, Appendix E; or
 - (iv) a combination of any of items (a) or (b).

5.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground.

NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.

C5.8 Concern is raised for the protection of bottled gas installations. Location, shielding and venting of the gas bottles needs to be considered.

SECTION 5 END
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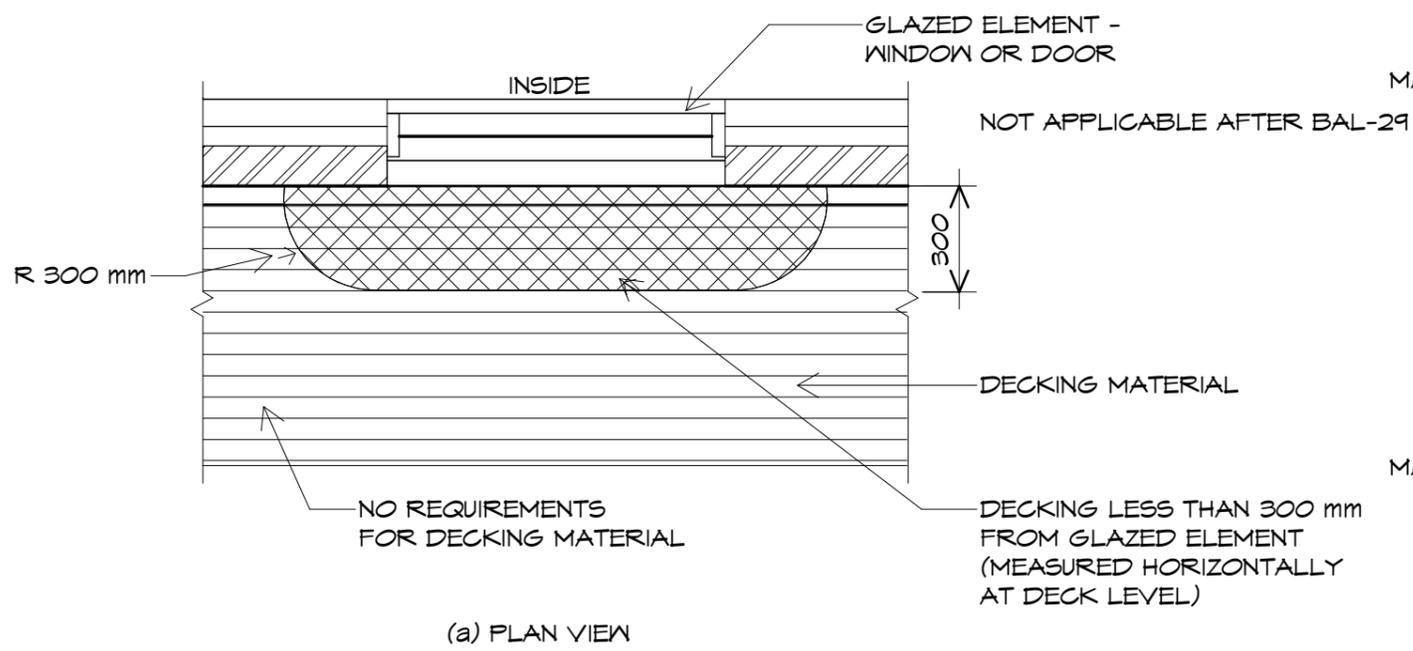
Drawing:
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Scale: 1 : 1

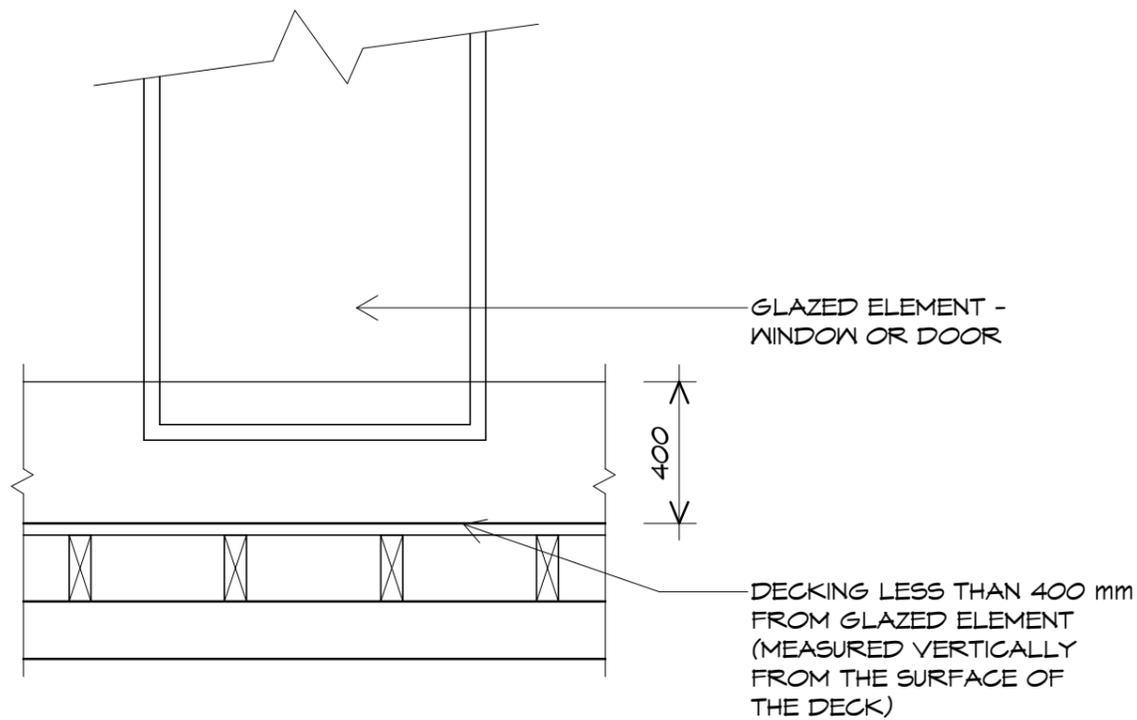
Project/Drawing no: PD23472 -BD16
Revision: C

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BUILDING
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(a) PLAN VIEW



(b) ELEVATION VIEW

FIGURE D2 DECKING WITHIN HORIZONTAL AND VERTICAL LIMITS OF GLAZED ELEMENTS

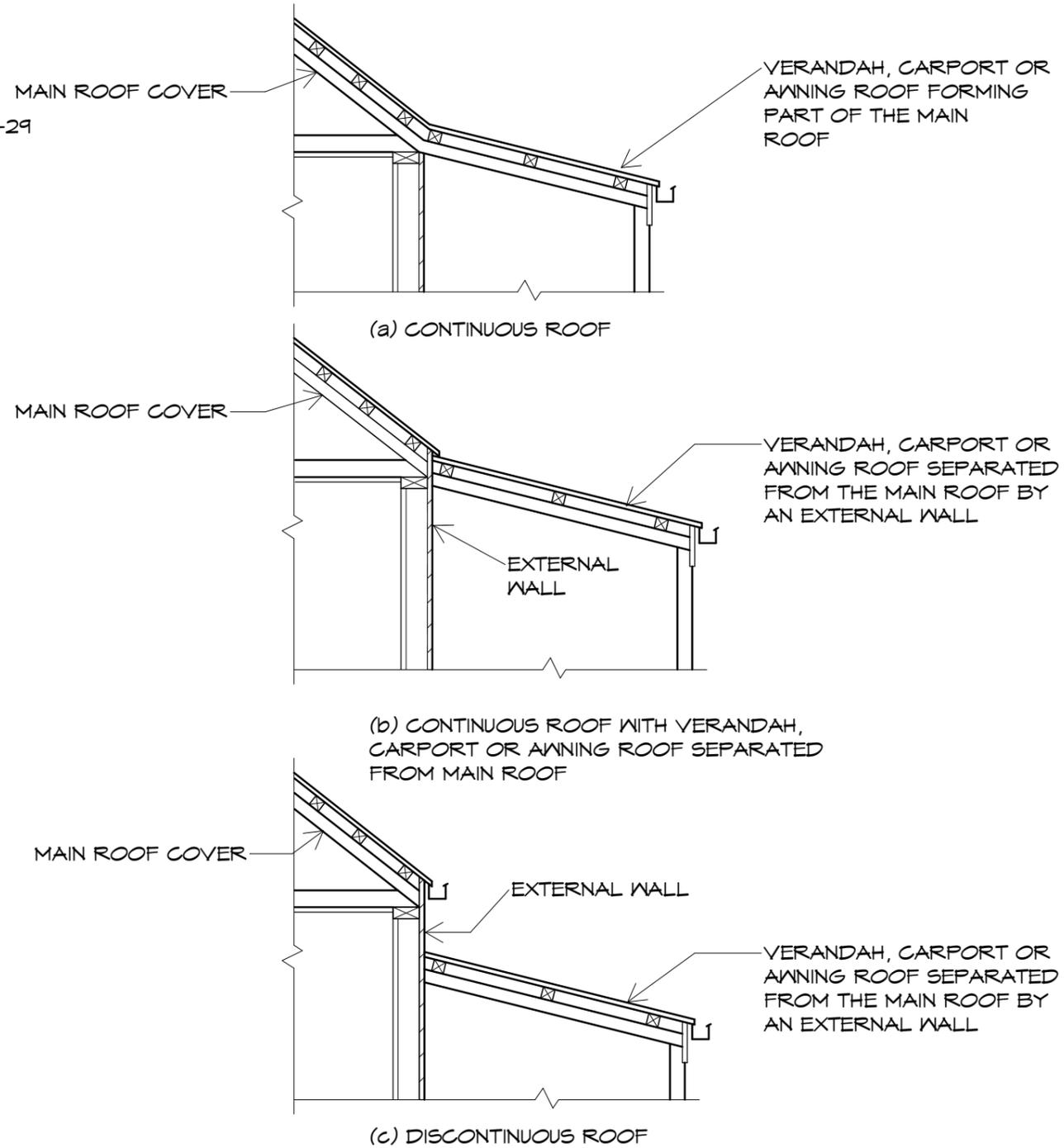


FIGURE D1 VERANDAH, CARPORT OR AWNING ROOFS SHOWING CONTINUOUS AND DISCONTINUOUS ROOF TYPES



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Drafted by: **M.R.** Approved by: **A.J.C.**

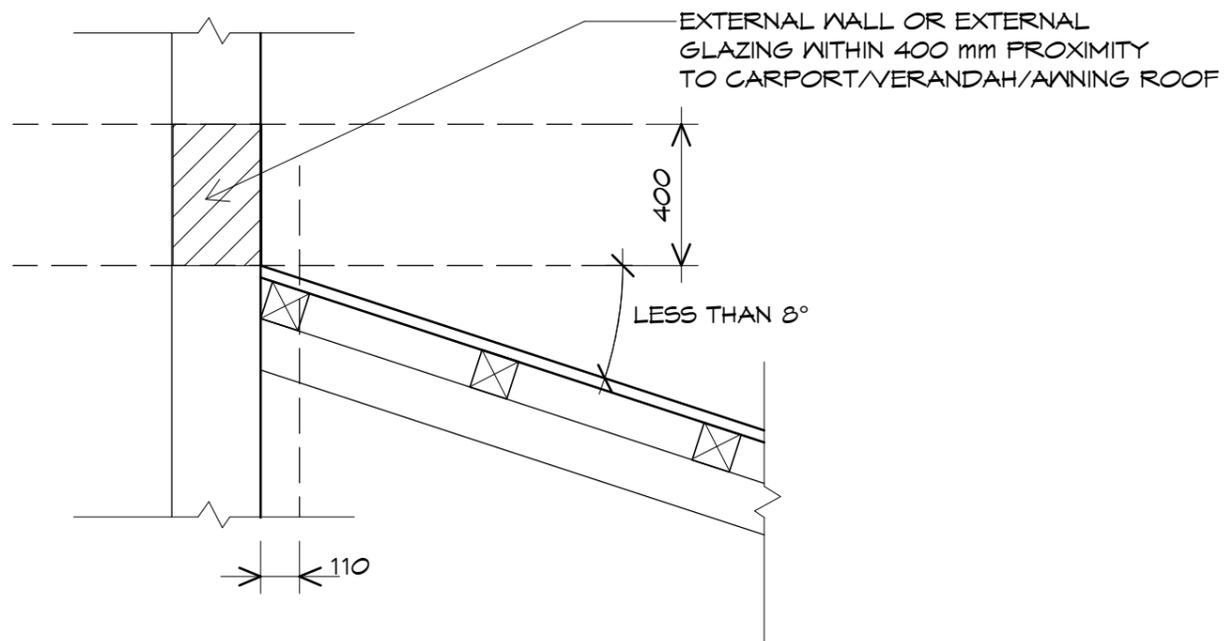
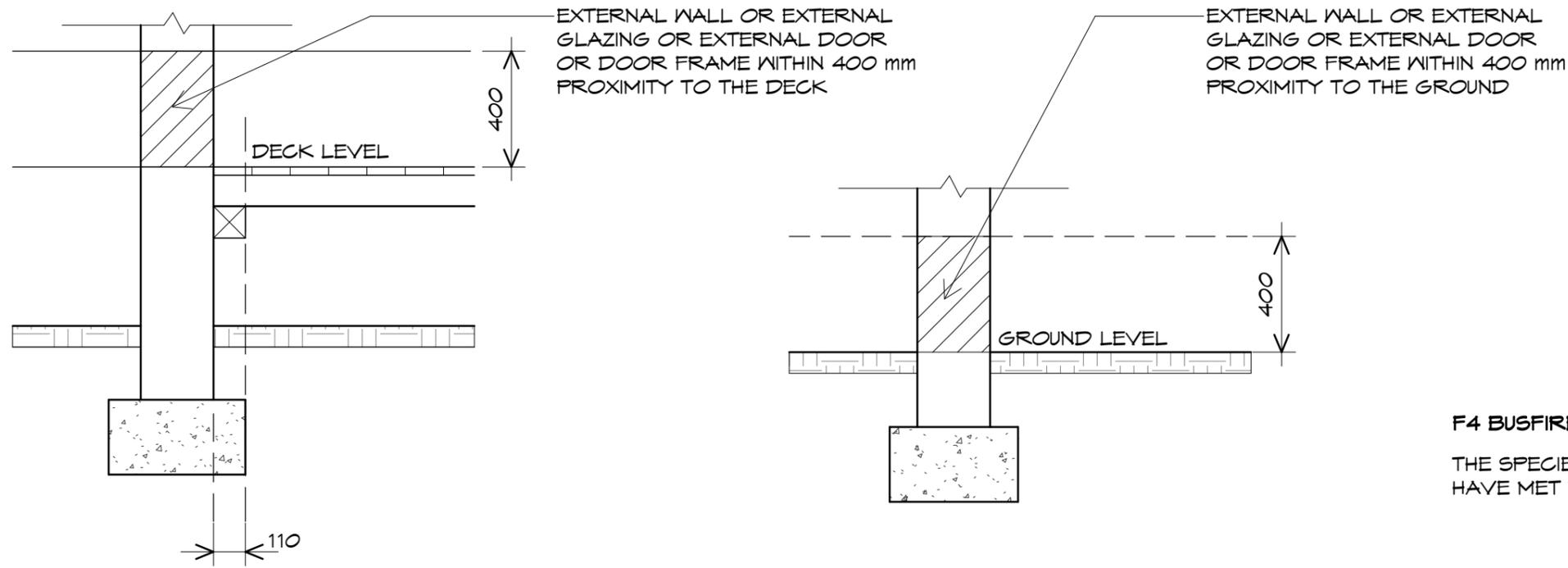


Drawing:
BUSHFIRE NOTES

Date: **11.07.2024** Scale: **1 : 20**

Project/Drawing no: **PD23472 -BD17** Revision: **C**

Accredited building practitioner: Frank Geskus -No CC246A



DIMENSIONS IN MILLIMETRES

FIGURE D3 EXTERNAL WALLS OR EXTERNAL GLAZING, OR EXTERNAL DOOR FRAMES WITHIN LIMITS ABOVE GROUND, DECKS, CARPORT ROOFS

F4 BUSFIRE RESISTING SPECIES

THE SPECIES LISTED IN TABLE F1 HAVE BEEN TESTED AND HAVE MET THE REQUIREMENTS OF PARAGRAPH F2

**TABLE F1
BUSHFIRE RESISTANT SPECIES**

Standard trade name	Botanical name
Ash, silver top	<i>Eucalyptus sieberi</i>
Blackbutt	<i>Eucalyptus pilularis</i>
Gum, red, river	<i>Eucalyptus camaldulensis</i>
Gum, spotted	<i>Corymbia maculata</i>
	<i>Corymbia henryi</i>
	<i>Corymbia citriodora</i>
Ironbark, red	<i>Eucalyptus sideroxylon</i>
Kwila (Merbau)	<i>Intsia bijuga</i>
Turperntine	<i>Syncarpia glomulifera</i>



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Project:
**PROPOSED RESIDENCE
127A WESTWOOD STREET
BRIDPORT**

Client name:
R.A. & D.J. LEACH

Drafted by:
M.R.

Approved by:
A.J.C.



Drawing:
BUSHFIRE NOTES

Date: **11.07.2024** Scale: **As indicated**

Project/Drawing no: **PD23472 -BD18** Revision: **C**

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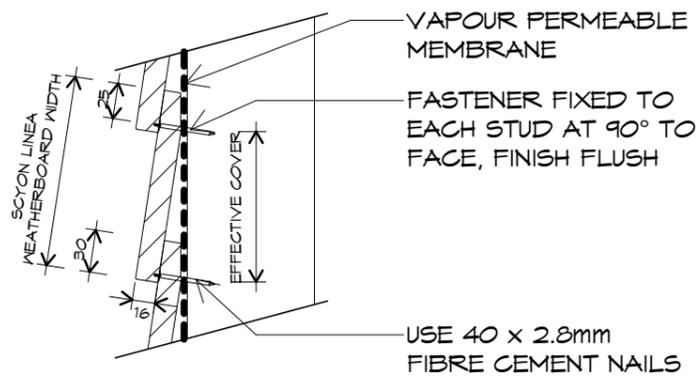


FIGURE 4 - CONCEALED FIXING DETAIL
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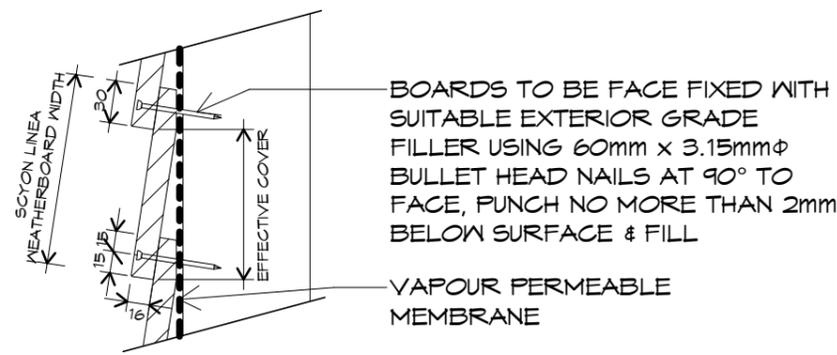


FIGURE 5 - FACE FIXING DETAIL
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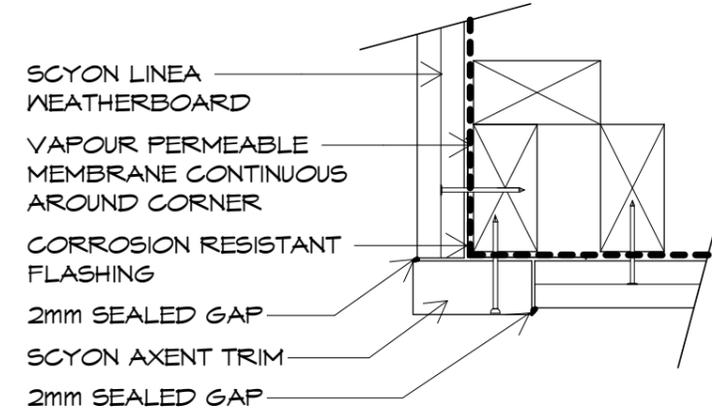


FIGURE 9 - SCYON AXENT TRIM EXTERNAL CORNER
NTS

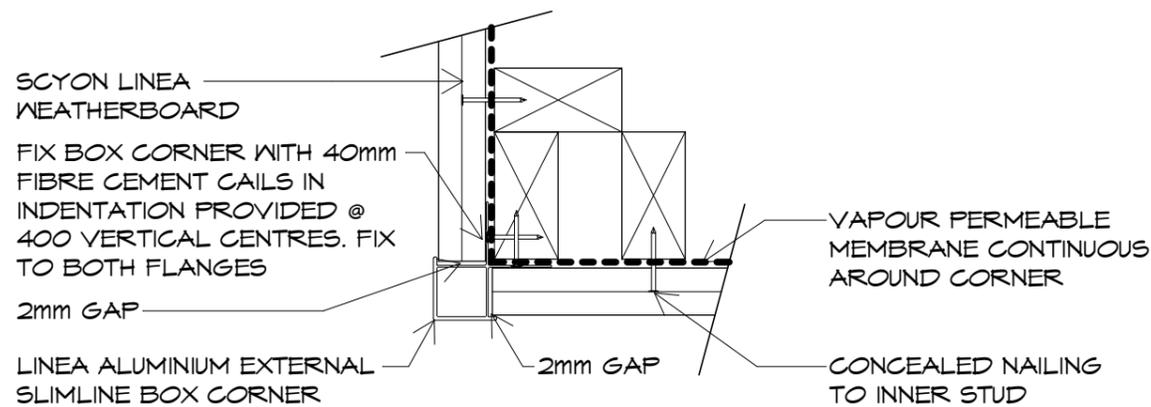


FIGURE 11 - LINEA ALUMINIUM SLIMLINE BOX GUTTER
NTS

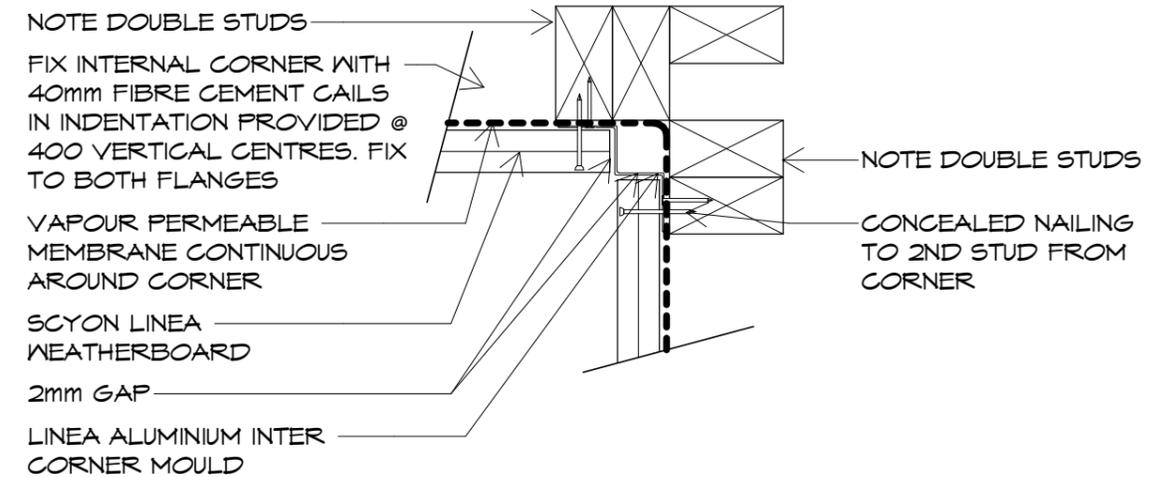


FIGURE 16 - LINEA ALUMINIUM CORNER MOULD INTERNAL CORNER
NTS

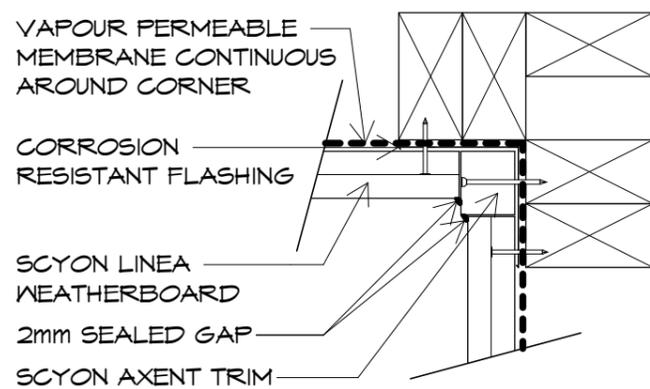


FIGURE 14 - SCYON AXENT TRIM INTERNAL CORNER
NTS

SCYON LINEA CONSTRUCTION DETAILS PAGE 1 OF 3

TO BE INSTALLED TO AS4200
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Drafted by:
M.R.

Approved by:
A.J.C.



Drawing:
CLADDING DETAILS

Date: 11.07.2024
Scale: N.T.S.

Project/Drawing no: PD23472 -BD19
Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

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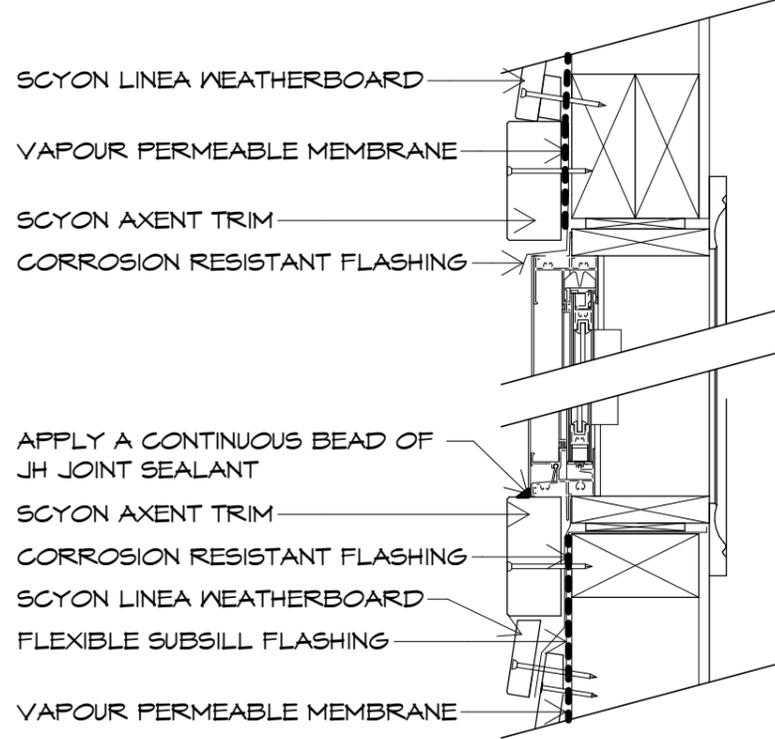


FIGURE 18 - WINDOW HEAD AND SILL USING SCYON AXENT TRIM
NTS

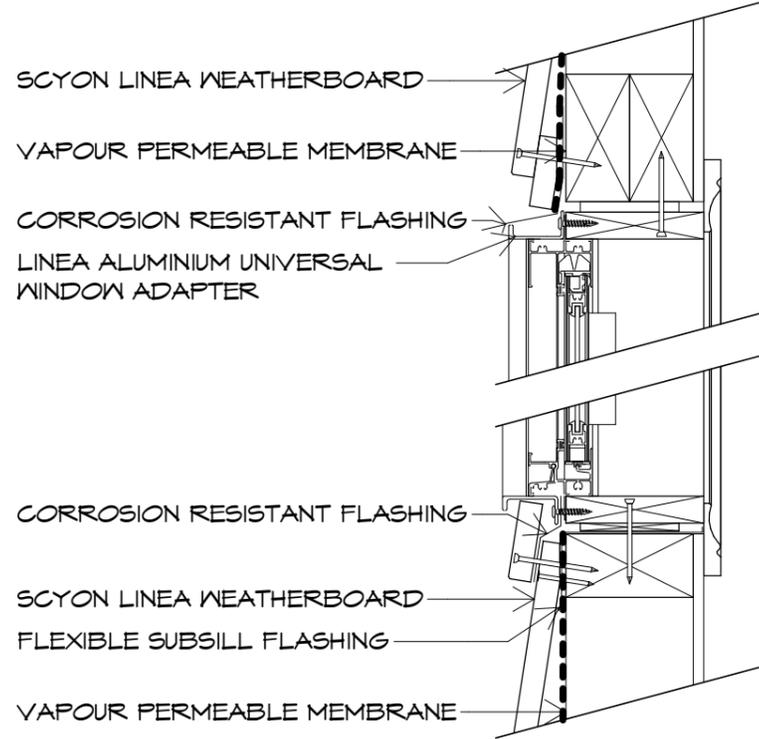


FIGURE 20 - WINDOW HEAD AND SILL USING LINEA ALUMINIUM WINDOW ADAPTOR
NTS

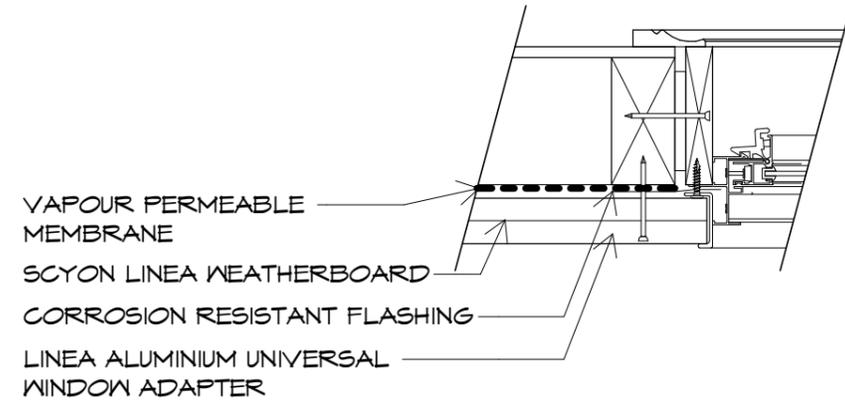


FIGURE 21 - WINDOW JAMB USING LINEA ALUMINIUM WINDOW ADAPTOR
NTS

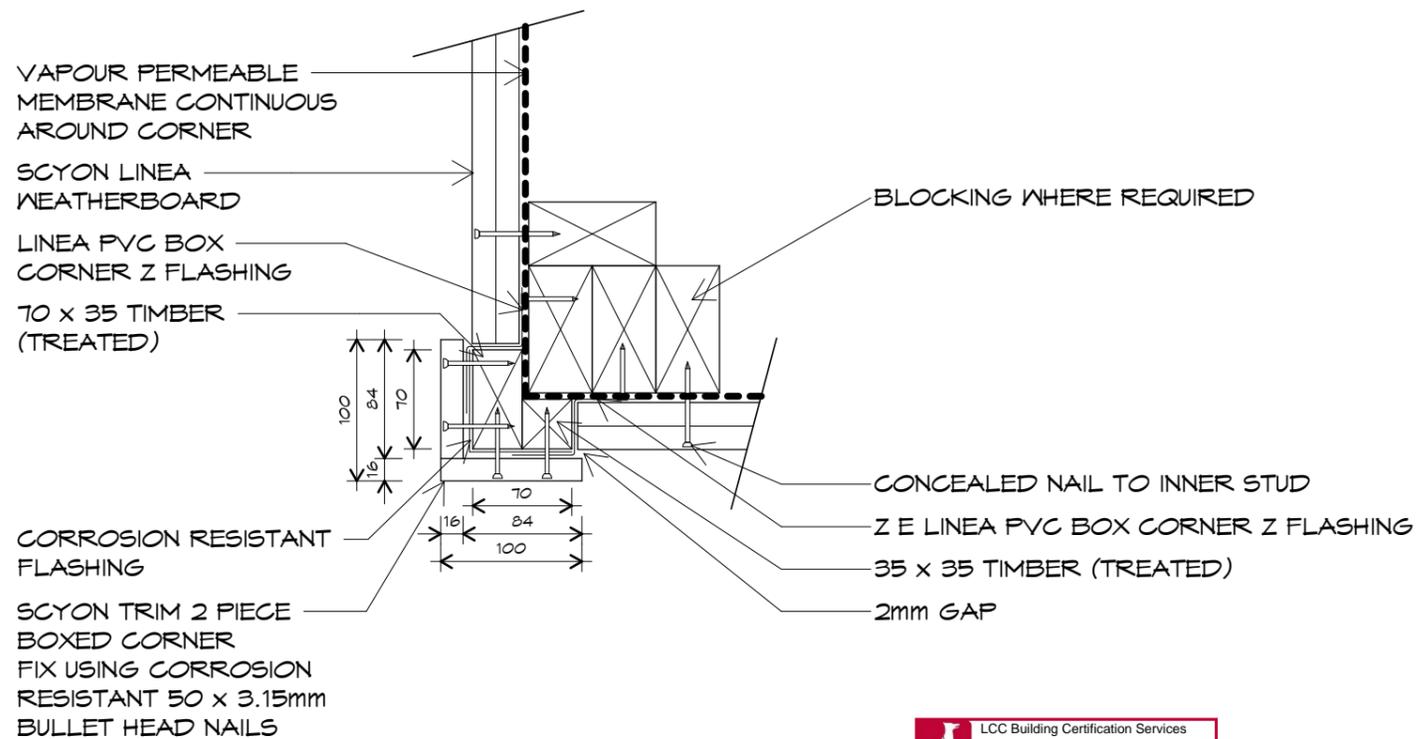


FIGURE 22 - SCYON AXENT TRIM EXTERNAL CORNER
NTS

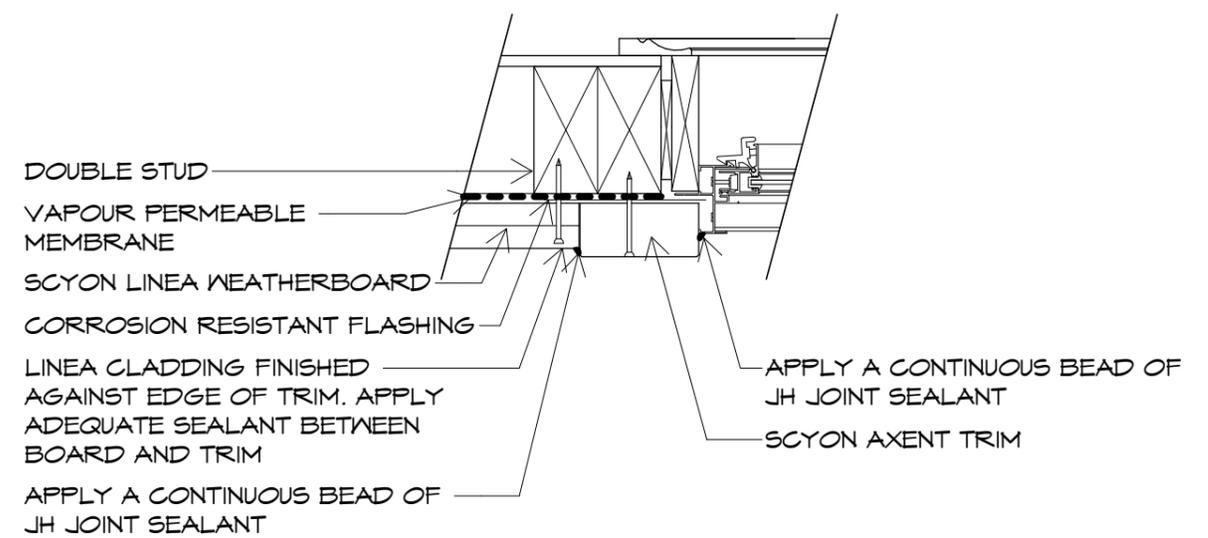


FIGURE 19 - WINDOW JAMB USING SCYON AXENT TRIM
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Project:
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Client name:
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Drafted by:
M.R.

Approved by:
A.J.C.



Drawing:
CLADDING DETAILS

Date: 11.07.2024
Scale: N.T.S.

Project/Drawing no: PD23472 -BD20
Revision: C

Accredited building practitioner: Frank Geskus -No CC246A

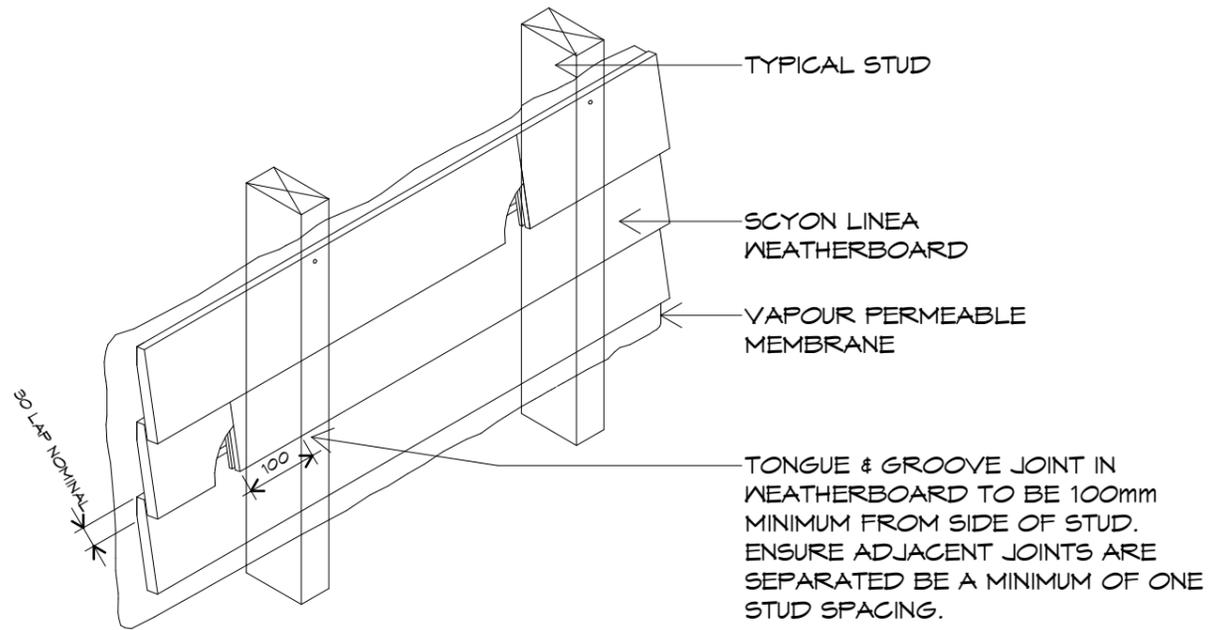


FIGURE 7 - TONGUE AND GROOVE JOINT OFF STUD
NTS

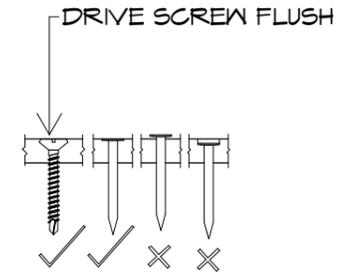


FIGURE 6 - FASTENER DEPTH
NTS

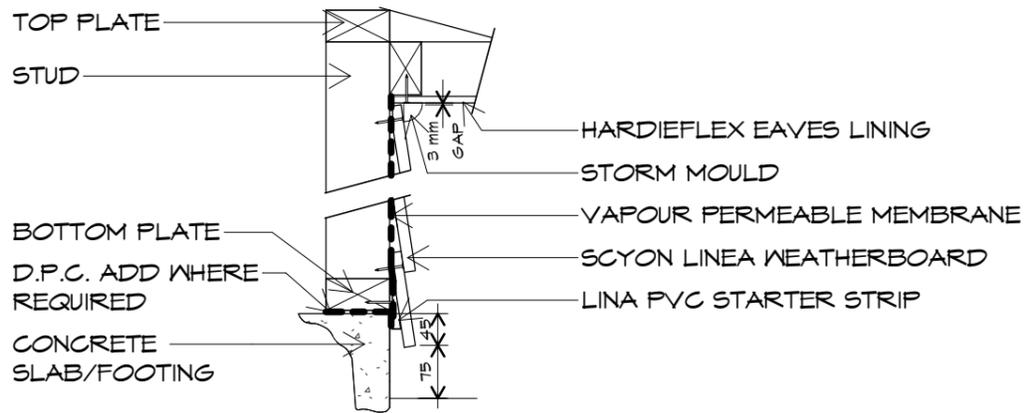


FIGURE 3 - SLAB/EAVE FUNCTION
NTS

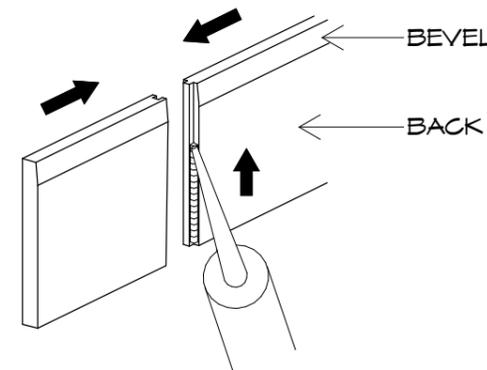


FIGURE 8 - TONGUE AND GROOVE DETAIL
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STEP 1:
APPLY CONTINUOUS SEALANT
BEAD TO BACK OF TONGUE IN
AN UPWARD DIRECTION

STEP 2:
PUSH FIRMLY TOGETHER



BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

SCYON LINEA CONSTRUCTION DETAILS PAGE 3 OF 3

TO BE INSTALLED TO AS4200
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Drafted by: M.R. Approved by: A.J.C.



Drawing:
CLADDING DETAILS

Date: 11.07.2024 Scale: N.T.S.

Project/Drawing no: PD23472 -BD21 Revision: C

Accredited building practitioner: Frank Geskus -No CC246A